

# PRELIMINARY/FINAL MAJOR SITE PLAN OF ADDITIONS & RENOVATIONS TO ALUMNI GYM AND STRENGTH AND CONDITIONING CENTER FOR RIDER UNIVERSITY

BLOCK 2801, LOT 24  
LAWRENCE TOWNSHIP, MERCER COUNTY, NEW JERSEY

(LAWRENCE TWP. APPLICATION - SP \_\_\_\_\_)

**APPLICANT/OWNER:**  
RIDER UNIVERSITY  
2083 LAWRENCEVILLE ROAD  
LAWRENCEVILLE, NEW JERSEY 08648

**ARCHITECT/LANDSCAPE ARCHITECT:**  
SPIEZLE ARCHITECTURAL GROUP, INC.  
1395 YARDVILLE HAMILTON SQUARE ROAD  
SUITE 2A  
HAMILTON, NJ 08691

**CIVIL ENGINEER/SURVEYOR:**  
VAN NOTE-HARVEY ASSOCIATES, INC.  
103 COLLEGE ROAD EAST, 3<sup>RD</sup> FLOOR  
PRINCETON, NEW JERSEY 08540

**MEP ENGINEER:**  
SCHILLER AND HERSH ASSOCIATES, INC.  
636 SKIPPACK PIKE, SUITE 200  
BLUE BELL, PENNSYLVANIA 19422

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CIVIL ENGINEERING PLANS BY VAN NOTE - HARVEY ASSOCIATES, INC.

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I/WE OWN THE PROPERTY AS SHOWN AND DESIGNATED HEREON AND HEREBY APPROVE THIS PLAN.


  
 OWNER AND APPLICANT: RIDER UNIVERSITY  
 MICHAEL F. RECA  
 VICE PRESIDENT, FACILITIES AND UNIVERSITY OPERATIONS
 
 09/17/21  
 DATE

APPROVED BY THE PLANNING BOARD OF LAWRENCE TOWNSHIP AS PRELIMINARY/FINAL MAJOR SITE PLAN

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_

MUNICIPAL ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_





**SEEDING SPECIFICATION:**  
PAVEMENT REMOVAL RESTORATION AREA

**MEADOW MIX:**

SEED VARIETY:	RATE PER ACRE:
HARD FESCUE	60 lbs.
LITTLE BLUE STEM	20 lbs.
CHEWINGS FESCUE	10 lbs.
CHEWINGS RED FESCUE	10 lbs.
DEER TONGUE	20 lbs.
RED TOP	2 lbs.
WILD RYE (ELYMUS)	15 lbs.
SWITCH GRASS	25 lbs.

**PARKING REQUIREMENTS:**  
LAWRENCE TOWNSHIP ORDINANCE SECT. 520(C), TABLE 5.16 PARKING REQUIREMENTS FOR NON-RESIDENTIAL USES  
LAWRENCE TOWNSHIP ORDINANCE SECT. 425

**PARKING GENERATOR:** REQUIREMENT:  
COLLEGE OR PREP SCHOOL: 1 SPACE PER 3 STUDENTS

TOTAL STUDENT CAPACITY = 5,600 STUDENTS  
5,600 STUDENTS / 3 STUDENTS = 1,866.6 (1,867) SPACES REQUIRED  
RIDER UNIVERSITY CAMPUS EXISTING STRIPED PARKING SPACES = 3,077 SPACES  
RIDER UNIVERSITY PARKING AREA RESULTS IN A REDUCTION OF 6 PARKING SPACES FOR DRIVE AISLE & A REDUCTION OF 42 SPACES FOR THE REMOVAL AREA.

PROPOSED EXISTING PAVEMENT REMOVAL & RESTORATION TO MEADOW IN VISITOR PARKING AREA RESULTS IN A REDUCTION OF 6 PARKING SPACES FOR DRIVE AISLE & A REDUCTION OF 42 SPACES FOR THE REMOVAL AREA.

3,077 SPACES EXISTING  
- 50 SPACES TOTAL REDUCTION FOR MEADOW RESTORATION  
3,027 SPACES TOTAL REMAINING  
- 1,867 REQUIRED SPACES  
1,160 EXCESS SPACES AVAILABLE

**ZONING SCHEDULE:**  
ZONING DISTRICT EG - EDUCATION, GOVERNMENT & INSTITUTIONS  
LAWRENCE TOWNSHIP ORDINANCE SECT. 425

REQUIREMENT:	REQUIRED:	EXISTING:	PROPOSED:
MINIMUM LOT SIZE:	5 AC	*243.02±	NO CHANGE
MINIMUM LOT FRONTAGE:	300 FT	*689.92±	NO CHANGE
MINIMUM LOT WIDTH:	300 FT	692±	NO CHANGE
MINIMUM LOT DEPTH:	600 FT	3,140±	NO CHANGE
MINIMUM FRONT YARD SETBACK:	100 FT	*39±	NO CHANGE
MINIMUM SIDE YARD:	100 FT	*45±	NO CHANGE
MINIMUM REAR YARD:	100 FT	---	NO CHANGE
MINIMUM SETBACK ACCESSORY USE:	75 FT	N/A	N/A
MAXIMUM IMPERVIOUS SURFACE RATIO:	0.60	0.1770	0.1776 PHASE 1 0.1783 PHASES 2 (A & B) 0.1783 PHASES 1 & 2A & 2B 0.1116 PHASE 1 0.1115 PHASE 2 (A & B) 0.1131 PHASES 1 & 2A & 2B
FULL BUILD OUT IMPERVIOUS SURFACE RATIO	0.20	0.1110	
MAXIMUM FLOOR AREA RATIO:			
FULL BUILD OUT FLOOR AREA RATIO (PHASE 1 BUILDING ADDITION = 5,620 SQ. FT., PHASE 2 BUILDING ADDITIONS = 4,924 SQ. FT.)			
MAXIMUM BUILDING HEIGHT:			
A. BUILDINGS WITHIN 500 FT. OF TRACT PERIMETER:	50 FT	49±	49.5±
B. BUILDINGS IN EXCESS OF 500 FT. OF TRACT PERIMETER:	80 FT	N/A	N/A
C. ACCESSORY USE:	30 FT	---	---

NOTES:  
\*TOTAL COMBINED LOTS AREAS WITHIN EG ZONING DISTRICT  
\*\*MEASURED ALONG LAWRENCEVILLE ROAD FRONTAGE  
\*\*\*EXISTING AS EXISTING NON-CONFORMING CONDITION

**LAWRENCE TWP. TAX MAP DATA:**

SHEET	28.02, 28.03 & 28.04
BLOCK	2801
LOT	24

**GRAPHIC SCALE**  
1 inch = 60 feet

**SEEDING SPECIFICATION:**  
PAVEMENT REMOVAL RESTORATION AREA

**MEADOW MIX:**

SEED VARIETY:	RATE PER ACRE:
HARD FESCUE	60 lbs.
LITTLE BLUE STEM	20 lbs.
CHEWINGS FESCUE	10 lbs.
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**van note-harvey associates, inc.**  
consulting engineers, planners & land surveyors

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**OVERALL SITE PLAN**  
OF  
ADDITIONS & RENOVATIONS TO  
ALUMNI GYM & STRENGTH & CONDITIONING CENTER  
PREPARED FOR  
RIDER UNIVERSITY  
SITUATED IN  
LAWRENCE TOWNSHIP MERCER CO., N.J.  
SCALE 1" = 60' SEPTEMBER 17, 2021

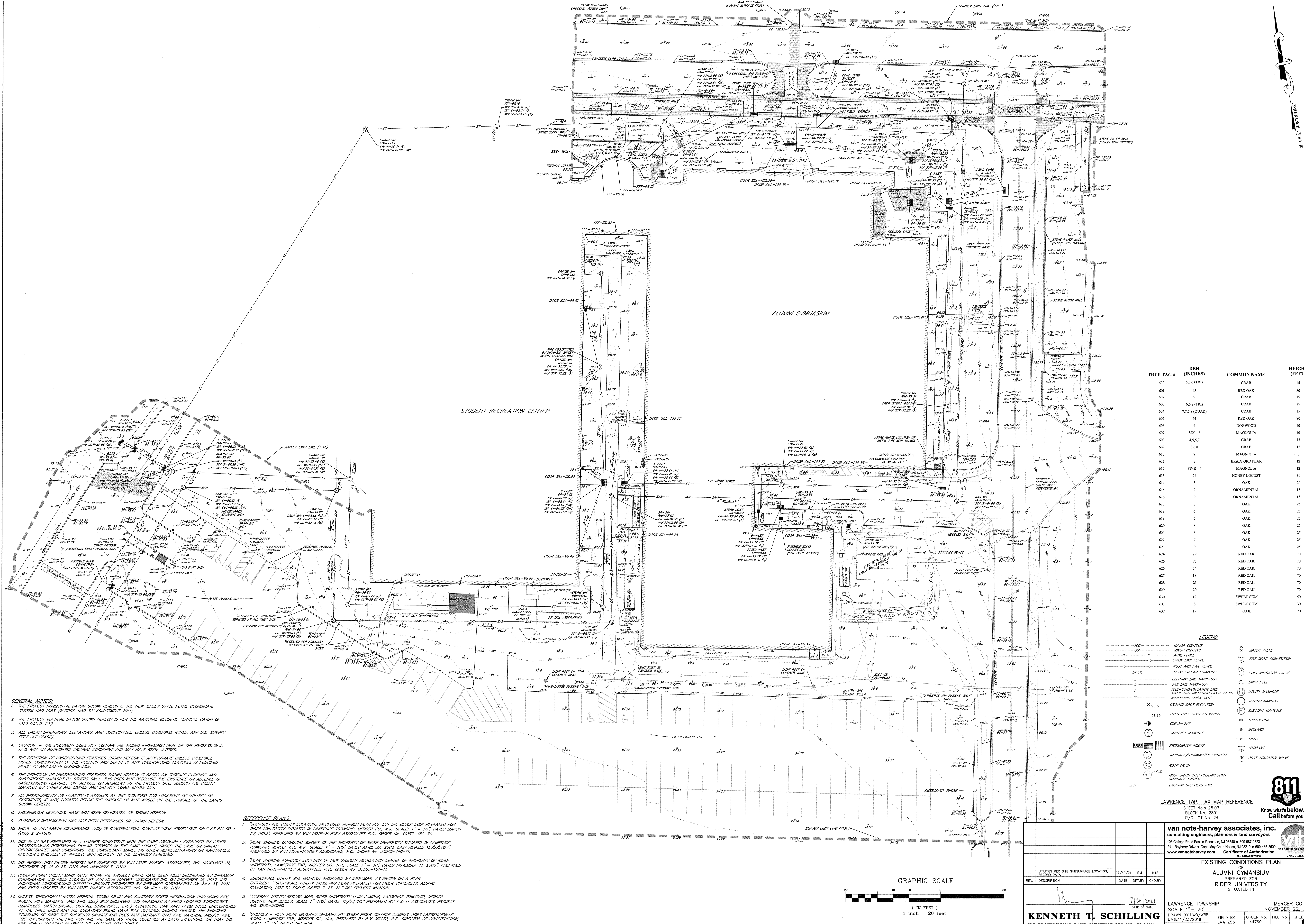
DRAWN BY JRM  
DATE 08/17/21  
CHECKED BY BRP/ANK  
DATE 09/17/21

FIELD BK ORDER No. FILE No. SHEET No.  
PAGE 44760-400-21 204-C-2  
DATE 09/17/21

**THOMAS E. O'SHEA**  
N.J. PROFESSIONAL ENGINEER LIC. NO. GE 31228

09/17/2021  
DATE OF SIGN.

CE-2



TREE TAG #	DBH (INCHES)	COMMON NAME	HEIGHT (FEET)
600	5.6,6 (TR)	CRAB	15
601	48	RED OAK	80
602	9	CRAB	15
603	6.6,8 (TR)	CRAB	15
604	7,7.8 (QUAD)	CRAB	15
605	44	RED OAK	80
606	4	DOGWOOD	10
607	SIX 2	MAGNOLIA	10
608	45,5,7	CRAB	15
609	8,6,8	CRAB	15
610	2	MAGNOLIA	8
611	3	BRADFORD PEAR	12
612	FIVE 4	MAGNOLIA	12
613	24	HONEY LOCUST	30
614	8	OAK	20
615	9	ORNAMENTAL	15
616	9	ORNAMENTAL	15
617	8	OAK	25
618	6	OAK	25
619	7	OAK	25
620	8	OAK	25
621	6	OAK	25
622	7	OAK	25
623	9	OAK	25
624	29	RED OAK	70
625	25	RED OAK	70
626	24	RED OAK	70
627	18	RED OAK	70
628	21	RED OAK	70
629	20	RED OAK	70
630	12	SWEET GUM	50
631	8	SWEET GUM	50
632	19	OAK	30

**LEGEND**

	MAJOR CONTOUR		WATER VALVE
	MINOR CONTOUR		FIRE DEPT. CONNECTION
	VINYL FENCE		POST INDICATOR VALVE
	CHAIN LINK FENCE		ELECTRIC LINE MARK-OUT
	DRCC		GAS LINE MARK-OUT
	DITCH		TELE-COMMUNICATION LINE MARK-OUT
	DITCH		WATER MAIN MARK-OUT
	GROUND SPOT ELEVATION		ELECTRIC MANHOLE
	HARDSCAPING SPOT ELEVATION		TELECOM MANHOLE
	SANITARY MANHOLE		STORMWATER MANHOLE
	STORMWATER INLETS		UTILITY BOX
	DRAINAGE/STORMWATER MANHOLE		BELLARD
	ROOF DRAIN		HYDRANT
	U.D.S.		POST INDICATOR VALVE
	ROOF DRAIN INTO UNDERDRAIN DRAINAGE SYSTEM		
	EXISTING OVERHEAD WIRE		

**LAWRENCE TWP. TAX MAP REFERENCE**

SHEET No. 8 28.03  
BLOCK No. 2801  
P/O LOT No. 24

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**EXISTING CONDITIONS PLAN**  
OF  
**ALUMNI GYMNASIUM**  
PREPARED FOR  
**RIDER UNIVERSITY**  
SITUATED IN

LAWRENCE TOWNSHIP  
SCALE 1" = 20'  
MERCER CO., N.J.  
NOVEMBER 22, 2019

**KENNETH T. SCHILLING**  
N.J. PROFESSIONAL LAND SURVEYOR LIC. NO. GS 34496

DATE OF PLAN: 7/30/2021

1. UTILITIES PER SITE SUBSURFACE LOCATION: 07/30/21 JRM KTS  
REV. DESCRIPTION DATE DFT BY CND BY

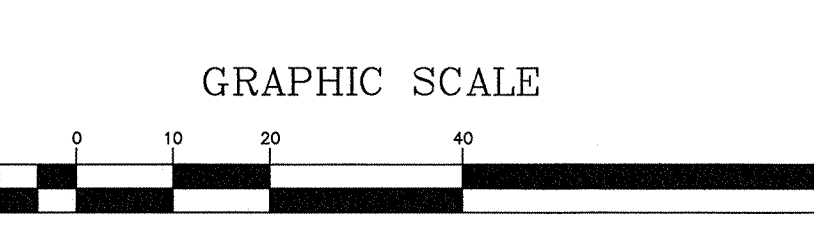
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ORDER No. 100-11  
FILE No. 44780-100-11  
SHEET No. CE-3

**GENERAL NOTES:**

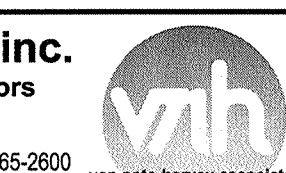
- THE PROJECT HORIZONTAL DATUM SHOWN HEREON IS THE NEW JERSEY STATE PLANE COORDINATE SYSTEM NAD 1983. (NAD83-ADJUSTED 2011).
- THE PROJECT VERTICAL DATUM SHOWN HEREON IS PER THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD-29).
- ALL LINEAR DIMENSIONS, ELEVATIONS, AND COORDINATES, UNLESS OTHERWISE NOTED, ARE U.S. SURVEY FEET (AT GRADE).
- CAUTION: IF THE DOCUMENT DOES NOT CONTAIN THE RAISED IMPRESSION SEAL OF THE PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT AND MAY HAVE BEEN ALTERED.
- THE DEPICTION OF UNDERGROUND FEATURES SHOWN HEREON IS APPROPRIATE UNLESS OTHERWISE NOTED. COORDINATION OF THE POSITION AND DEPTH OF ANY UNDERGROUND FEATURES IS REQUIRED PRIOR TO ANY EARTH DISTURBANCE.
- THE DEPICTION OF UNDERGROUND FEATURES SHOWN HEREON IS BASED ON SURFACE EVIDENCE AND SUBSURFACE MARKOUT BY OTHERS ONLY. THIS DOES NOT PRECLUDE THE EXISTENCE OR ABSENCE OF UNDERGROUND FEATURES ON, ACROSS, OR ADJACENT TO THE PROJECT SITE. SUBSURFACE UTILITY MARKOUT BY OTHERS ARE LIMITED AND DID NOT COVER ENTIRE LOT.
- NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY THE SURVEYOR FOR LOCATIONS OF UTILITIES OR EASEMENTS, IF ANY, LOCATED BELOW THE SURFACE OR NOT VISIBLE ON THE SURFACE OF THE LANDS SHOWN HEREON.
- FRESHWATER WETLANDS HAVE NOT BEEN DELINEATED OR SHOWN HEREON.
- FLOODWAY INFORMATION HAS NOT BEEN DETERMINED OR SHOWN HEREON.
- PRIOR TO ANY EARTH DISTURBANCE AND/OR CONSTRUCTION, CONTACT NEW JERSEY ONE CALL AT 811 OR 1 (800) 272-1000.
- THIS PLAN WAS PREPARED IN A MANNER CONSISTENT WITH THE CARE ORDINARILY EXERCISED BY OTHER PROFESSIONALS PERFORMING SIMILAR SERVICES IN THE SAME LOCALITY, UNDER THE SAME OR SIMILAR CIRCUMSTANCES AND CONDITIONS. THE CONSULTANT MAKES NO OTHER REPRESENTATIONS OR WARRANTIES, WHETHER EXPRESSED OR IMPLIED, WITH RESPECT TO THE SERVICES RENDERED.
- THE INFORMATION SHOWN HEREON WAS SURVEYED BY VAN NOTE-HARVEY ASSOCIATES, INC. NOVEMBER 22, DECEMBER 15, 19 & 23, 2019 AND JANUARY 3, 2020.
- UNDERGROUND UTILITY MARK OUTS WITHIN THE PROJECT LIMITS HAVE BEEN FIELD DELINEATED BY INTRAMAP CORPORATION AND FIELD LOCATED BY VAN NOTE-HARVEY ASSOCIATES, INC. ON DECEMBER 15, 2019 AND ADDITIONAL UNDERGROUND UTILITY MARKOUTS DELINEATED BY INTRAMAP CORPORATION ON JULY 23, 2020 AND FIELD LOCATED BY VAN NOTE-HARVEY ASSOCIATES, INC. ON JULY 30, 2021.
- UNLESS SPECIFICALLY NOTED HEREON, STORM DRAIN AND SANITARY SEWER INFORMATION (INCLUDING PIPE INVERT, PIPE MATERIAL AND PIPE SIZE) WAS OBSERVED AND MEASURED AT FIELD LOCATED STRUCTURES (MANHOLES, CHECK BASINS, OUTFALL STRUCTURES, ETC.). CONDITIONS CAN VARY FROM THOSE ENCOUNTERED AT THE TIMES WHEN AND THE LOCATIONS WHERE DATA WAS OBTAINED. DESPITE MEETING THE REQUIRED STANDARD OF CARE THE SURVEYOR CANNOT AND DOES NOT WARRANT THAT PIPE MATERIAL AND/OR PIPE SIZE THROUGHOUT THE PIPE RUN ARE THE SAME AS THOSE OBSERVED AT EACH STRUCTURE, OR THAT THE PIPE RUN IS STRAIGHT BETWEEN THE LOCATED STRUCTURES.

**REFERENCE PLANS:**

- SUB-SURFACE UTILITY LOCATIONS PROPOSED TRN-GY PLAN P/O, LOT 24, BLOCK 2801 PREPARED FOR RIDER UNIVERSITY SITUATED IN LAWRENCE TOWNSHIP, MERCER CO., N.J., SCALE 1" = 50', DATED MARCH 27, 2017, PREPARED BY VAN NOTE-HARVEY ASSOCIATES, P.C., ORDER No. 41357-482-51.
- PLAN SHOWING OUTBOUND SURVEY OF THE PROPERTY OF RIDER UNIVERSITY SITUATED IN LAWRENCE TOWNSHIP, MERCER CO., N.J., SCALE 1" = 100', DATED APRIL 22, 2004, LAST REVISED 12/5/2007, PREPARED BY VAN NOTE-HARVEY ASSOCIATES, P.C., ORDER No. 35305-140-11.
- PLAN SHOWING AS-BUILT LOCATION OF NEW STUDENT RECREATION CENTER OF PROPERTY OF RIDER UNIVERSITY, LAWRENCE TWP., MERCER CO., N.J., SCALE 1" = 30', DATED NOVEMBER 11, 2005, PREPARED BY VAN NOTE-HARVEY ASSOCIATES, P.C., ORDER No. 35305-161-11.
- SUBSURFACE UTILITY SITE MARKOUT PREPARED BY INTRAMAP, AS SHOWN ON A PLAN ENTITLED: "SUBSURFACE UTILITY TARGETING PLAN PREPARED FOR RIDER UNIVERSITY, ALUMNI GYMNASIUM, NOT TO SCALE, DATED 7-23-21," IMC PROJECT IN21081.
- OVERALL UTILITY RECORD MAP, RIDER UNIVERSITY MAIN CAMPUS, LAWRENCE TOWNSHIP, MERCER COUNTY, NEW JERSEY, SCALE 1"=100', DATED 10/20/10, PREPARED BY T & M ASSOCIATES, PROJECT NO. 3702-00000.
- UTILITIES - PLOT PLAN WATER-GAS-SANITARY SEWER RIDER COLLEGE CAMPUS, 2003 LAWRENCEVILLE ROAD, LAWRENCE TWP., MERCER CO., N.J., PREPARED BY R.V. MILLER, P.E.-DIRECTOR OF CONSTRUCTION, SCALE 1"=50', DATED 1-15-84.



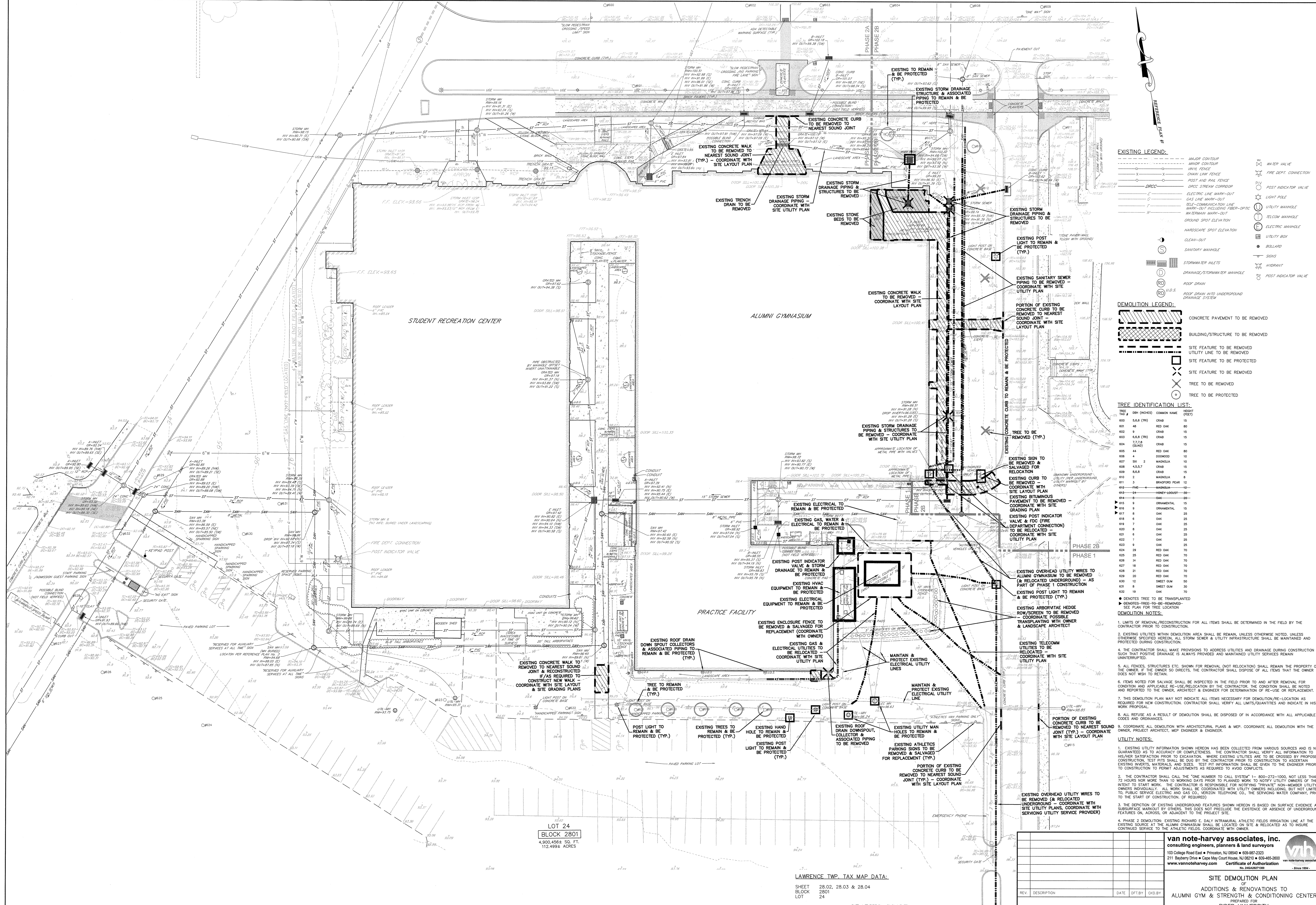
Know what's below. Call before you dig.



van note-harvey associates, inc.

CONSULTING ENGINEERS, PLANNERS & LAND SURVEYORS

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**EXISTING LEGEND:**

---	MAJOR CONTOUR	W	WATER VALVE
---	MINOR CONTOUR	W	FIRE DEPT. CONNECTION
---	VINYL FENCE	W	POST INDICATOR VALVE
---	CHAIN LINK FENCE	W	POST INDICATOR VALVE
---	POST AND RAIL FENCE	W	POST INDICATOR VALVE
---	DRCC	W	DRIP STREAM CORROSION
---	ELECTRIC LINE MARK-OUT	W	ELECTRIC LINE MARK-OUT
---	GAS LINE MARK-OUT	W	ELECTRIC LINE MARK-OUT
---	TELE-COMMUNICATION LINE MARK-OUT INCLUDING FIBER-OPTIC	W	TELECOM MANHOLE
---	WATER MAIN MARK-OUT	W	ELECTRIC MANHOLE
---	GROUND SPOT ELEVATION	W	UTILITY BOX
---	HARDSCAPE SPOT ELEVATION	W	UTILITY BOX
---	CLEAN-OUT	W	UTILITY BOX
---	SANITARY MANHOLE	W	UTILITY BOX
---	STORMWATER INLETS	W	UTILITY BOX
---	DRAINAGE/STORMWATER MANHOLE	W	UTILITY BOX
---	ROOF DRAIN	W	UTILITY BOX
---	ROOF DRAIN INTO UNDERGROUND DRAINAGE SYSTEM	W	UTILITY BOX

**DEMOLITION LEGEND:**

---	CONCRETE PAVEMENT TO BE REMOVED
---	BUILDING/STRUCTURE TO BE REMOVED
---	SITE FEATURE TO BE REMOVED
---	SITE FEATURE TO BE REMOVED
---	SITE FEATURE TO BE REMOVED
---	TREE TO BE REMOVED
---	TREE TO BE PROTECTED

**TREE IDENTIFICATION LIST:**

TREE TAG #	DBH (INCHES)	COMMON NAME	HEIGHT (FEET)
600	5.6 (TR)	CRAB	15
601	4.8	RED OAK	80
602	9	CHAM	15
603	6.8 (TR)	CRAB	15
604	7.7 (TR)	CRAB	15
605	4.4	RED OAK	80
606	4	DODWOOD	10
607	5.5	2	10
608	4.5, 7	CRAB	15
609	8.5, 8	CRAB	15
610	2	MANDARIN	8
611	3	BRADFORD PEAR	12
612	5	MARGALA	12
613	24	HONEY-LUCKY	30
614	3	CHAM	15
615	9	ORNAMENTAL	15
616	9	ORNAMENTAL	15
617	6	OAK	25
618	6	OAK	25
619	7	OAK	25
620	8	OAK	25
621	6	OAK	25
622	7	OAK	25
623	8	OAK	25
624	29	RED OAK	70
625	25	RED OAK	70
626	24	RED OAK	70
627	18	RED OAK	70
628	21	RED OAK	70
629	20	RED OAK	70
630	12	SWEET GUM	45
631	8	SWEET GUM	30
632	19	OAK	70

- DEMOLITION NOTES:**
- LIMITS OF REMOVAL/RECONSTRUCTION FOR ALL ITEMS SHALL BE DETERMINED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
  - EXISTING UTILITIES WITHIN DEMOLITION AREA SHALL BE REMOVED, UNLESS OTHERWISE NOTED. UNLESS OTHERWISE SPECIFIED HERON, ALL STORM SEWER & UTILITY INFRASTRUCTURE SHALL BE MAINTAINED AND PROTECTED DURING CONSTRUCTION.
  - THE CONTRACTOR SHALL MAKE PROVISIONS TO ADDRESS UTILITIES AND DRAINAGE DURING CONSTRUCTION SUCH THAT POSITIVE DRAINAGE IS ALWAYS PROVIDED AND MAINTAINED UTILITY SERVICES REMAIN UNINTERRUPTED.
  - ALL FENCES, STRUCTURES ETC. SHOWN FOR REMOVAL (NOT RELOCATION) SHALL REMAIN THE PROPERTY OF THE OWNER, IF THE OWNER SO DIRECTS, THE CONTRACTOR SHALL DISPOSE OF ALL ITEMS THAT THE OWNER DOES NOT WISH TO RETAIN.
  - ITEMS NOTED FOR SALVAGE SHALL BE INSPECTED IN THE FIELD PRIOR TO AND AFTER REMOVAL FOR CONDITION AND APPROVED BY THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS/HER SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING PRIVATE NON-MEMBER UTILITY OWNERS INDIVIDUALLY. ALL WORK SHALL BE COORDINATED WITH UTILITY OWNERS INCLUDING, BUT NOT LIMITED TO, PUBLIC SERVICE ELECTRIC AND GAS CO., VERIZON TELEPHONE CO., THE SERVING WATER COMPANY, PRIOR TO THE START OF CONSTRUCTION (IF REQUIRED).
  - ALL REFUSE AS A RESULT OF DEMOLITION SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
  - COORDINATE ALL DEMOLITION WITH ARCHITECTURAL PLANS & MEP. COORDINATE ALL DEMOLITION WITH THE OWNER, PROJECT ARCHITECT, MEP ENGINEER & ENGINEER.

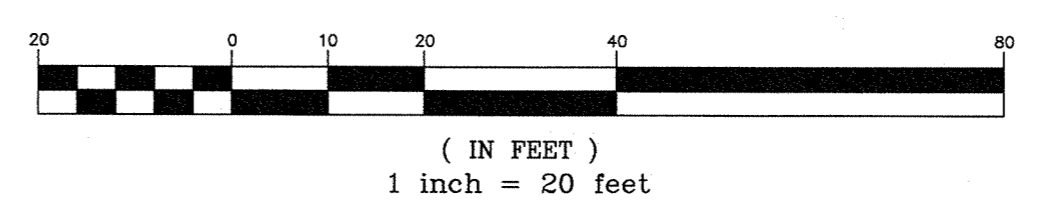
- UTILITY NOTES:**
- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS/HER SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING PRIVATE NON-MEMBER UTILITY OWNERS INDIVIDUALLY. ALL WORK SHALL BE COORDINATED WITH UTILITY OWNERS INCLUDING, BUT NOT LIMITED TO, PUBLIC SERVICE ELECTRIC AND GAS CO., VERIZON TELEPHONE CO., THE SERVING WATER COMPANY, PRIOR TO THE START OF CONSTRUCTION (IF REQUIRED).
  - THE CONTRACTOR SHALL CALL THE "ONE NUMBER TO CALL SYSTEM" 1-800-272-1000, NOT LESS THAN 72 HOURS NOR MORE THAN 10 WORKING DAYS PRIOR TO PLANNED WORK TO NOTIFY UTILITY OWNERS OF THE INTENT TO START WORK. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING PRIVATE NON-MEMBER UTILITY OWNERS INDIVIDUALLY. ALL WORK SHALL BE COORDINATED WITH UTILITY OWNERS INCLUDING, BUT NOT LIMITED TO, PUBLIC SERVICE ELECTRIC AND GAS CO., VERIZON TELEPHONE CO., THE SERVING WATER COMPANY, PRIOR TO THE START OF CONSTRUCTION (IF REQUIRED).
  - THE DEPTH OF EXISTING UNDERGROUND UTILITIES SHOWN HEREON IS BASED ON SURFACE EVIDENCE AND SUBSURFACE MARKOUT BY OTHERS. THIS DOES NOT PRECLUDE THE EXISTENCE OR ABSENCE OF UNDERGROUND UTILITIES ON ADJACENT OR ADJACENT TO THE PROJECT SITE.
  - PHASE 2 DEMOLITION: EXISTING RICHARD E. DAILY INTRAMURAL ATHLETIC FIELD IRRIGATION LINE AT THE EXISTING SOURCE AT THE ALUMNI GYMNASIUM SHALL BE LOCATED ON SITE & RELOCATED AS TO INSURE CONTINUED SERVICE TO THE ATHLETIC FIELDS. COORDINATE WITH OWNER.

LOT 24  
BLOCK 2801  
4,900,456 SQ. FT.  
112.499± ACRES

LAWRENCE TWP. TAX MAP DATA:

SHEET	28.02, 28.03 & 28.04
BLOCK	2801
LOT	24

GRAPHIC SCALE



**van note-harvey associates, inc.**  
consulting engineers, planners & land surveyors

103 College Road East • Princeton, NJ 08540 • 609-987-2323  
211 Bayview Drive • Cape May Court House, NJ 08210 • 609-486-2000  
www.vanoteharvey.com Certificate of Authorization No. 2402021200

**THOMAS E. O'SHEA**  
N.J. PROFESSIONAL ENGINEER LIC. NO. GE 31228

**SITE DEMOLITION PLAN**  
OF  
ADDITIONS & RENOVATIONS TO  
ALUMNI GYM & STRENGTH & CONDITIONING CENTER  
PREPARED FOR  
RIDER UNIVERSITY  
SITUATED IN  
MERCER CO., N.J.  
SEPTEMBER 17, 2021

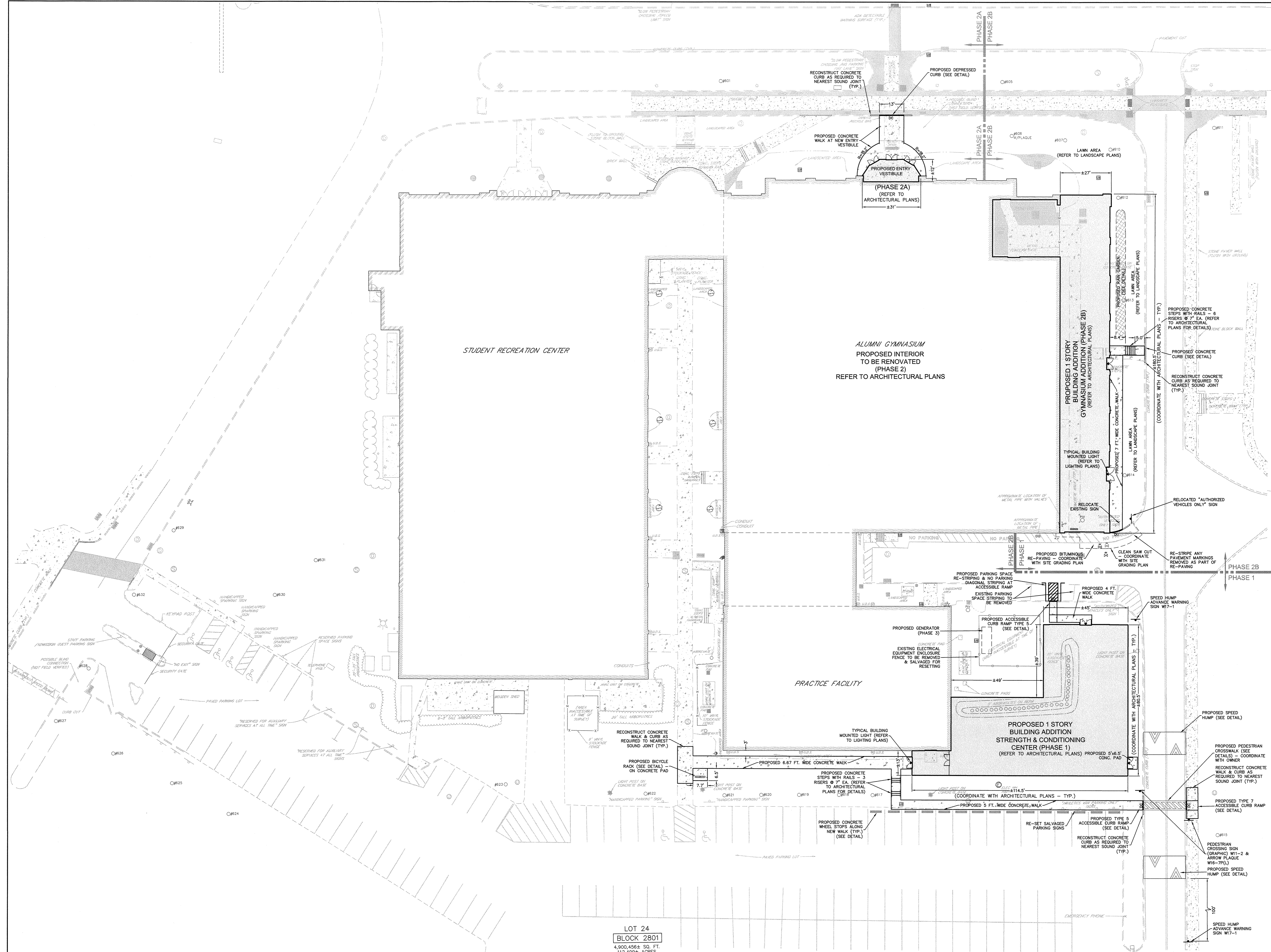
DATE: 09/17/2021  
SCALE: 1" = 20'

DRAWN BY: JRM  
DATE: 08/17/21  
CHECKED BY: BRP/JMK  
DATE: 09/17/21

REV. DESCRIPTION DATE DPT BY CKD BY

FILE NO. ORDER NO. SHEET NO.  
44760-400-21 204-C-2 CE-4

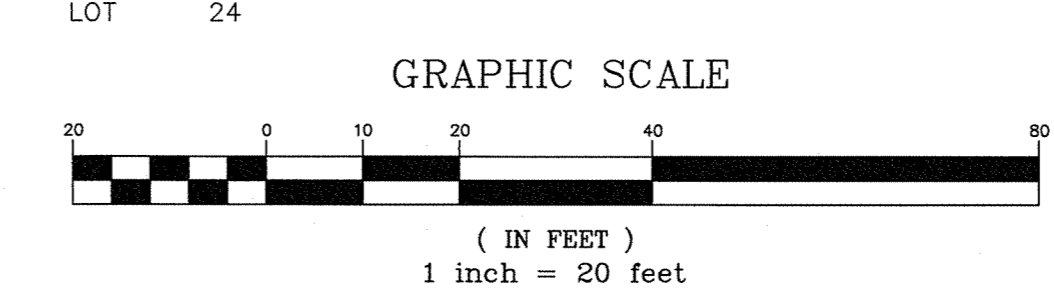
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- EXISTING LEGEND:**
- MAJOR CONTOUR
  - MINOR CONTOUR
  - WYLA FENCE
  - CHAIN LINK FENCE
  - POST AND RAIL FENCE
  - DRCC --- DRCC STREAM CORRIDOR
  - E --- ELECTRIC LINE MARK-OUT
  - G --- GAS LINE MARK-OUT
  - T --- TELE-COMMUNICATION LINE MARK-OUT INCLUDING FIBER-OPTIC
  - W --- WATERMAIN MARK-OUT
  - --- GROUND SPOT ELEVATION
  - --- HARDSCAPE SPOT ELEVATION
  - --- CLEAN-OUT
  - --- SANITARY MANHOLE
  - --- STORMWATER INLETS
  - --- DRAINAGE/STORMWATER MANHOLE
  - --- ROOF DRAIN
  - --- U.S.S. ROOF DRAIN INTO UNDERGROUND DRAINAGE SYSTEM
  - --- WATER VALVE
  - --- FIRE DEPT. CONNECTION
  - --- POST INDICATOR VALVE
  - --- LIGHT POLE
  - --- UTILITY MANHOLE
  - --- TELECOM MANHOLE
  - --- ELECTRIC MANHOLE
  - --- UTILITY BOX
  - --- BOLLARD
  - --- SIGN
  - --- HYDRANT
  - --- POST INDICATOR VALVE
- PROPOSED LEGEND:**
- BUILDING ADDITION
  - CONCRETE WALK
  - CURB
  - FLUSH CURB (FC)
  - DETECTABLE WARNING SURFACE (DWS)
  - DOORWAY
  - BUILDING MOUNTED LIGHT
  - BIKE RACK
  - PAVEMENT CUT LINE
  - PEDESTRIAN CROSSWALK
  - SPEED HUMP
  - TRAFFIC CONTROL SIGN
  - WHEEL STOP

LOT 24  
BLOCK 2801  
4,900,456± SQ. FT.  
112.499± ACRES

LAWRENCE TWP. TAX MAP DATA:  
SHEET 28.02, 28.03 & 28.04  
BLOCK 2801  
LOT 24

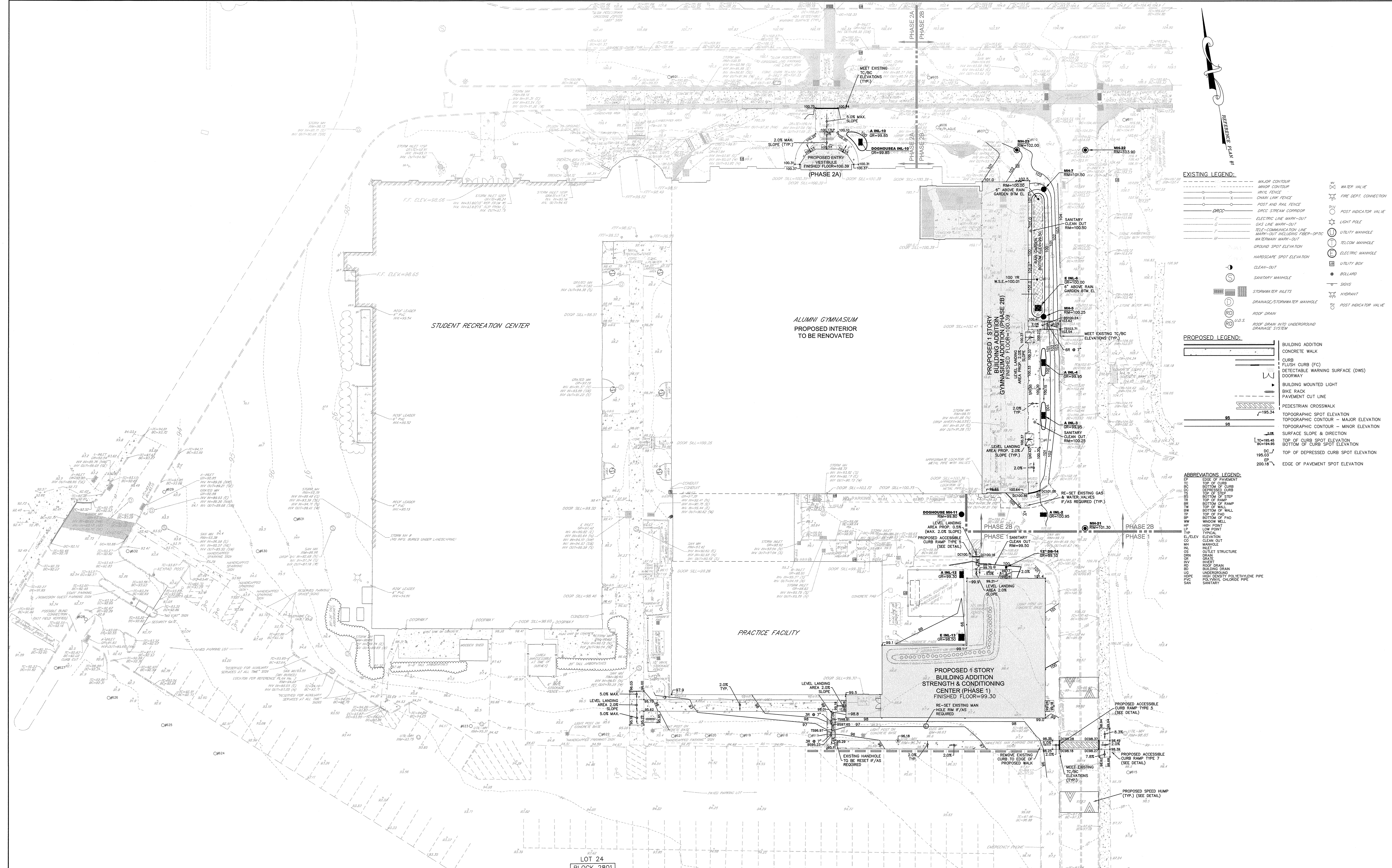


**NOTES:**  
1. REFER TO SHEET CE-3 FOR TREE IDENTIFICATION LIST.

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<b>SITE LAYOUT PLAN</b> OF ADDITIONS & RENOVATIONS TO ALUMNI GYM & STRENGTH & CONDITIONING CENTER PREPARED FOR RIDER UNIVERSITY SITUATED IN			
LAWRENCE TOWNSHIP DATE OF SIGN. 09/17/2021		MERCER CO., N.J. SCALE 1"=20' DATE 08/17/21 SEPTEMBER 17, 2021	
DRAWN BY JRM DATE 08/17/21	FIELD BK.	ORDER No. 44760-400-21	FILE No. 204-C-2 SHEET No. <b>CE-5</b>
CHECKED BY TBRP/PJK DATE 09/17/21			



THOMAS E. O'SHEA  
N.J. PROFESSIONAL ENGINEER LIC. NO. GE 31228



- EXISTING LEGEND:**
- MAJOR CONTOUR
  - MINOR CONTOUR
  - WATER VALVE
  - FIRE DEPT. CONNECTION
  - POST AND RAIL FENCE
  - POST INDICATOR VALVE
  - DRCC
  - ELECTRIC LINE MARK-OUT
  - GAS LINE MARK-OUT
  - TELE-COMMUNICATION LINE
  - MARK-OUT INCLUDING FIBER-OPTIC
  - WATERMAIN MARK-OUT
  - GROUND SPOT ELEVATION
  - LANDSCAPE SPOT ELEVATION
  - CLEAN-OUT
  - SANITARY MANHOLE
  - STORMWATER INLETS
  - DRAINAGE/STORMWATER MANHOLE
  - ROOF DRAIN
  - R.O.D.S.
  - ROOF DRAIN INTO UNDERGROUND DRAINAGE SYSTEM
  - WATER VALVE
  - FIRE DEPT. CONNECTION
  - POST INDICATOR VALVE
  - UTILITY MANHOLE
  - RELOC. MANHOLE
  - ELECTRIC MANHOLE
  - UTILITY BOX
  - BOLLARD
  - HYDRANT
  - POST INDICATOR VALVE
- PROPOSED LEGEND:**
- BUILDING ADDITION
  - CONCRETE WALK
  - CURB
  - FLUSH CURB (FC)
  - DETECTABLE WARNING SURFACE (DWS)
  - DOORWAY
  - BUILDING MOUNTED LIGHT
  - BIKE RACK
  - PAVEMENT CUT LINE
  - PEDESTRIAN CROSSWALK
  - TOPOGRAPHIC SPOT ELEVATION
  - TOPOGRAPHIC CONTOUR - MAJOR ELEVATION
  - TOPOGRAPHIC CONTOUR - MINOR ELEVATION
  - SURFACE SLOPE & DIRECTION
  - TOP OF CURB SPOT ELEVATION
  - BOTTOM OF CURB SPOT ELEVATION
  - TOP OF DEPRESSED CURB SPOT ELEVATION
  - EDGE OF PAVEMENT SPOT ELEVATION
- ABBREVIATIONS LEGEND:**
- EP: EDGE OF PARAPET
  - TC: TOP OF CURB
  - BC: BOTTOM OF CURB
  - TR: TOP OF RAMP
  - BR: BOTTOM OF RAMP
  - FW: TOP OF WALL
  - BP: BOTTOM OF WALL
  - TP: TOP OF PAD
  - BP: BOTTOM OF PAD
  - WF: WINDOW WELL
  - HP: HIGH POINT
  - LP: LOW POINT
  - EL: ELEVATION
  - CL: CLEAN OUT
  - MANHOLE
  - IN: INLET
  - DR: DRAIN
  - OR: ORATE
  - RIV: RIVER
  - RD: ROOF DRAIN
  - BD: BUILDING DRAIN
  - UN: UNDERGROUND
  - PC: POLYETHYLENE PIPE
  - PVC: POLYVINYL CHLORIDE PIPE
  - SAN: SANITARY

LOT 24  
BLOCK 2801  
4,900,456 ± SQ. FT.  
112.499 ± ACRES

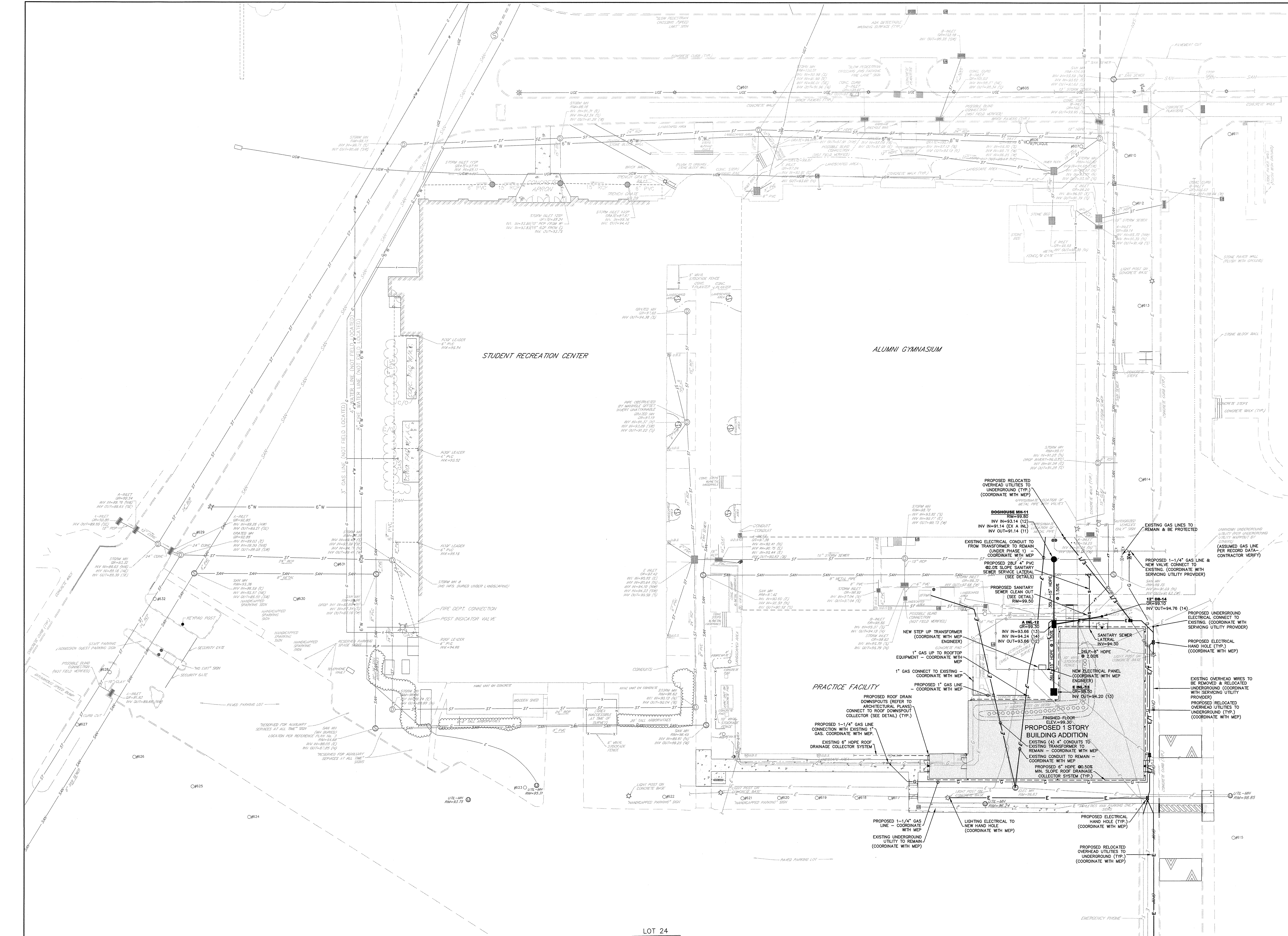
LAWRENCE TWP. TAX MAP DATA.

SHEET 28.02, 28.03 & 28.04  
BLOCK 2801  
LOT 24

GRAPHIC SCALE  
1 inch = 20 feet

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<b>SITE GRADING PLAN</b> OF ADDITIONS & RENOVATIONS TO ALUMNI GYM & STRENGTH & CONDITIONING CENTER PREPARED FOR RIDER UNIVERSITY SITuated IN LAWRENCE TOWNSHIP, MERCER CO., N.J. DATE: 08/17/21			
DATE: 08/17/21	SCALE: 1"=20'	FIELD BK	ORDER No. FILE No.
CHECKED BY: RBRP/MNK	PAGE	44760-400-21	204-0-2
DATE: 09/17/21	DATE: 09/17/21	DATE: 09/17/21	DATE: 09/17/21
<b>THOMAS E. O'SHEA</b> N.J. PROFESSIONAL ENGINEER LIC. NO. GE 31228			
DRAWN BY: R.O.V. DATE: 09/17/21			
DATE: 08/17/21			
DATE: 09/17/21			
DATE: 09/17/21			
DATE: 09/17/21			
DATE: 09/17/21			

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- EXISTING LEGEND:**
- MAJOR CONTOUR
  - MINOR CONTOUR
  - VINYL FENCE
  - CHAIN LINK FENCE
  - POST AND RAIL FENCE
  - DRCC
  - ELECTRIC LINE MARK-OUT
  - GAS LINE MARK-OUT
  - TELE-COMMUNICATION LINE MARK-OUT INCLUDING FIBER-OPTIC
  - WATERMAIN MARK-OUT
  - GROUND SPOT ELEVATION
  - HARDSCAPE SPOT ELEVATION
  - CLEAN-OUT
  - SANITARY MANHOLE
  - STORMWATER INLETS
  - DRAINAGE/STORMWATER MANHOLE
  - ROOF DRAIN
  - U.S.S. ROOF DRAIN INTO UNDERGROUND DRAINAGE SYSTEM
  - WATER VALVE
  - FIRE DEPT. CONNECTION
  - POST INDICATOR VALVE
  - LIGHT POLE
  - ELECTRIC MANHOLE
  - TELCOM MANHOLE
  - ELECTRIC MANHOLE
  - UTILITY BOX
  - BOLLARD
  - SIGNS
  - HYDRANT
  - POST INDICATOR VALVE

- PROPOSED LEGEND:**
- BUILDING ADDITION
  - CONCRETE WALK
  - CURB
  - FLUSH CURB (FC)
  - DETECTABLE WARNING SURFACE (DWS)
  - DOORWAY
  - BUILDING MOUNTED LIGHT
  - BIKE RACK
  - PAVEMENT CUT LINE
  - PEDESTRIAN CROSSWALK
  - SPEED HUMP
  - TRAFFIC CONTROL SIGN
  - WHEEL STOP
  - UNDERGROUND ELECTRICAL SERVICE
  - UNDERGROUND TELEPHONE & CABLE SERVICE
  - CHILLED WATER
  - DOMESTIC WATER SERVICE
  - FIRE WATER SUPPLY
  - PVC ROOF DRAINAGE DISCHARGE PIPE
  - GAS SERVICE
  - SANITARY SEWER SERVICE LATERAL
  - SANITARY SEWER CLEANOUT
  - FIRE HYDRANT
  - FIRE DEPARTMENT CONNECTION (FDC)
  - WATER VALVE
  - GAS VALVE
  - STORM DRAINAGE CLEAN OUT
  - DRAIN BASIN
  - OUTLET CATCH STRUCTURE/STORM DRAINAGE I
  - STORM DRAINAGE MANHOLE
  - SANITARY SEWER MANHOLE
  - PERF PVC UNDERDRAIN

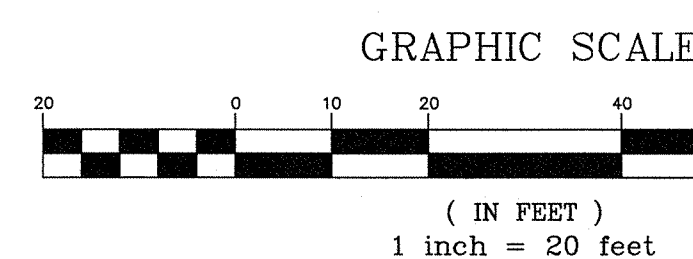
- ABBREVIATIONS LEGEND:**
- EP: EDGE OF PAVEMENT
  - TC: TOP OF CURB
  - BC: BOTTOM OF CURB
  - IC: INTERSECTION
  - TS: TOP OF STEP
  - BS: BOTTOM OF STEP
  - TR: TOP OF RAMP
  - BR: BOTTOM OF RAMP
  - EW: ELEVATION
  - SP: BOTTOM OF PAD
  - WCL: WINDOW WELL
  - HP: HIGH POINT
  - LP: LOW POINT
  - TYP: TYPICAL
  - EL: ELEVATION
  - CO: CLEAN OUT
  - MH: MANHOLE
  - INL: INLET
  - OS: OUTLET STRUCTURE
  - DR: DRAIN
  - GR: GRATE
  - RD: ROOF DRAIN
  - UV: UNDERGROUND
  - UG: UNDERGROUND
  - HD: HIGH DENSITY POLYETHYLENE PIPE
  - PVC: POLYVINYL CHLORIDE PIPE
  - SAN: SANITARY

- UTILITY NOTES:**
- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS/HER SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS.
  - THE CONTRACTOR SHALL CALL THE "ONE NUMBER TO CALL SYSTEM" 1-800-272-1000, NOT LESS THAN 72 HOURS NOR MORE THAN 10 WORKING DAYS PRIOR TO PLANNED WORK TO NOTIFY UTILITY OWNERS OF THE INTENT TO START WORK. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING "PRIVATE" NON-MEMBER UTILITY OWNERS INDIVIDUALLY. ALL WORK SHALL BE COORDINATED WITH UTILITY OWNERS INCLUDING, BUT NOT LIMITED TO, PUBLIC SERVICE ELECTRIC AND GAS CO., VERIZON TELEPHONE CO., THE SERVING WATER COMPANY, PRIOR TO THE START OF CONSTRUCTION, (IF REQUIRED).
  - THE DEPICTION OF EXISTING UNDERGROUND FEATURES SHOWN HEREON IS BASED ON RECORD DATA, SURFACE EVIDENCE AND SUBSURFACE MARKOUT BY OTHERS ONLY. THIS DOES NOT PRECLUDE THE EXISTENCE OR ABSENCE OF UNDERGROUND FEATURES ON, ACROSS, OR ADJACENT TO THE PROJECT SITE. SUBSURFACE UTILITY MARKOUTS BY OTHERS ARE LIMITED AND DID NOT COVER ENTIRE LOT.
  - COORDINATE ALL UTILITIES WITH THE ARCHITECTURAL, MEP PLANS, LANDSCAPE PLANS, AND RIDER UNIVERSITY.
  - COORDINATE ALL UTILITIES WITH APPROPRIATE SERVING UTILITY COMPANY/PROVIDER. INSTALL PER UTILITY COMPANY REQUIREMENTS & STANDARDS.
  - CONTRACTOR VERIFY ALL EXISTING UTILITY LOCATIONS PRIOR TO CONSTRUCTION.



LOT 24  
BLOCK 2801  
4,900,456 SQ. FT.  
112.4995 ACRES

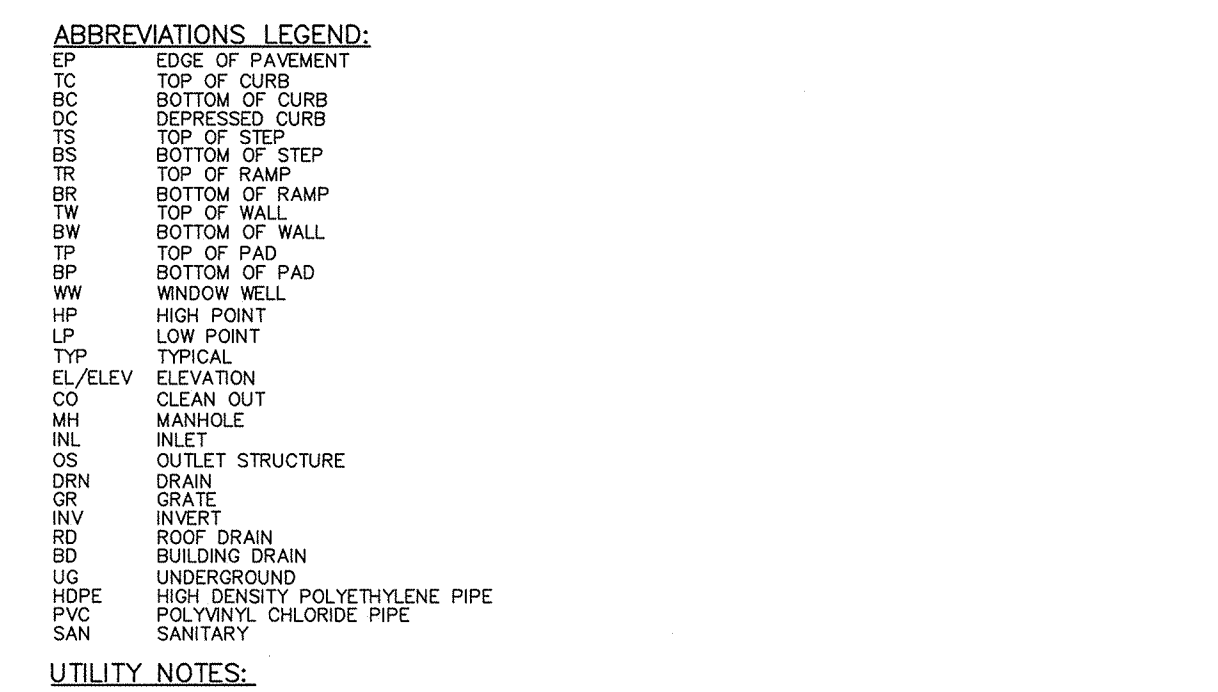
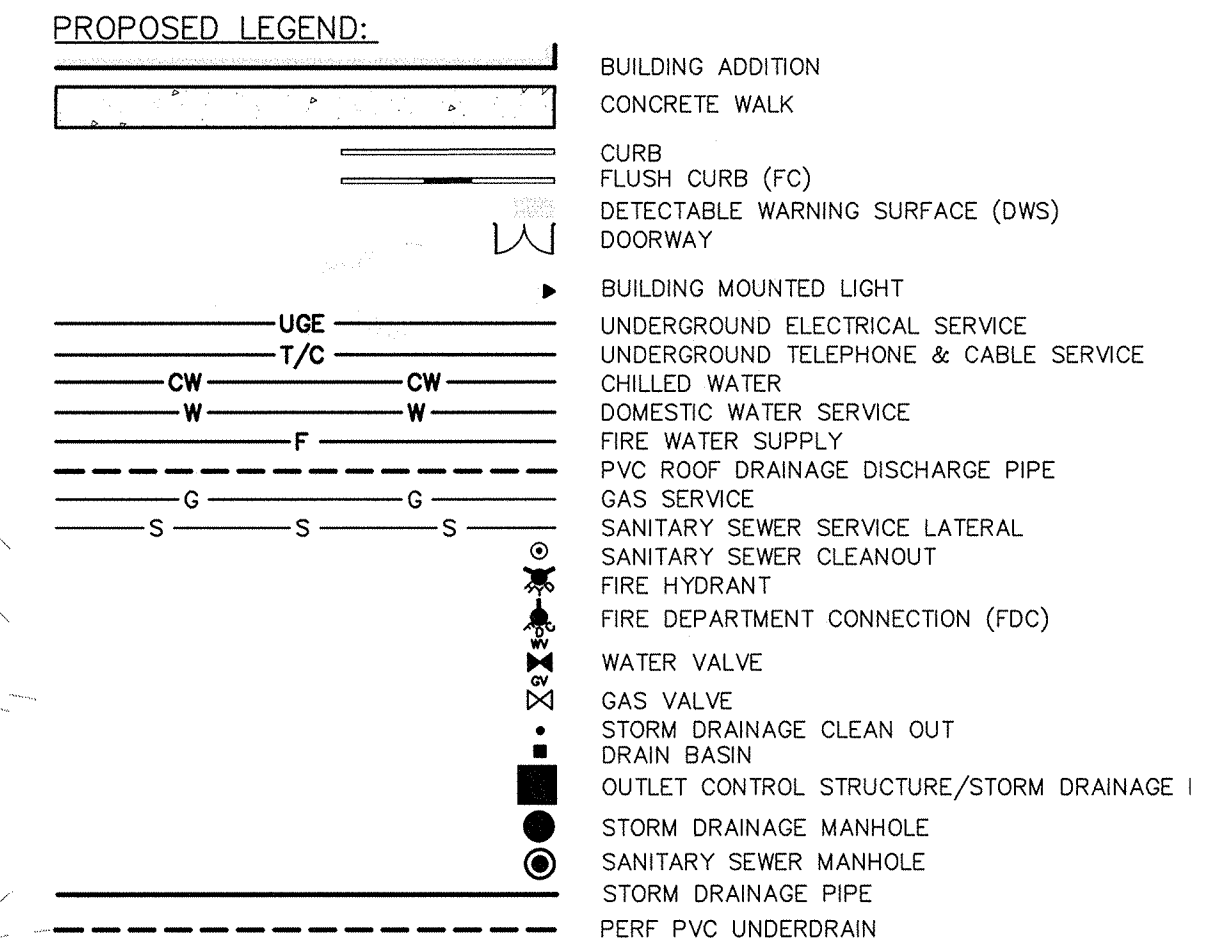
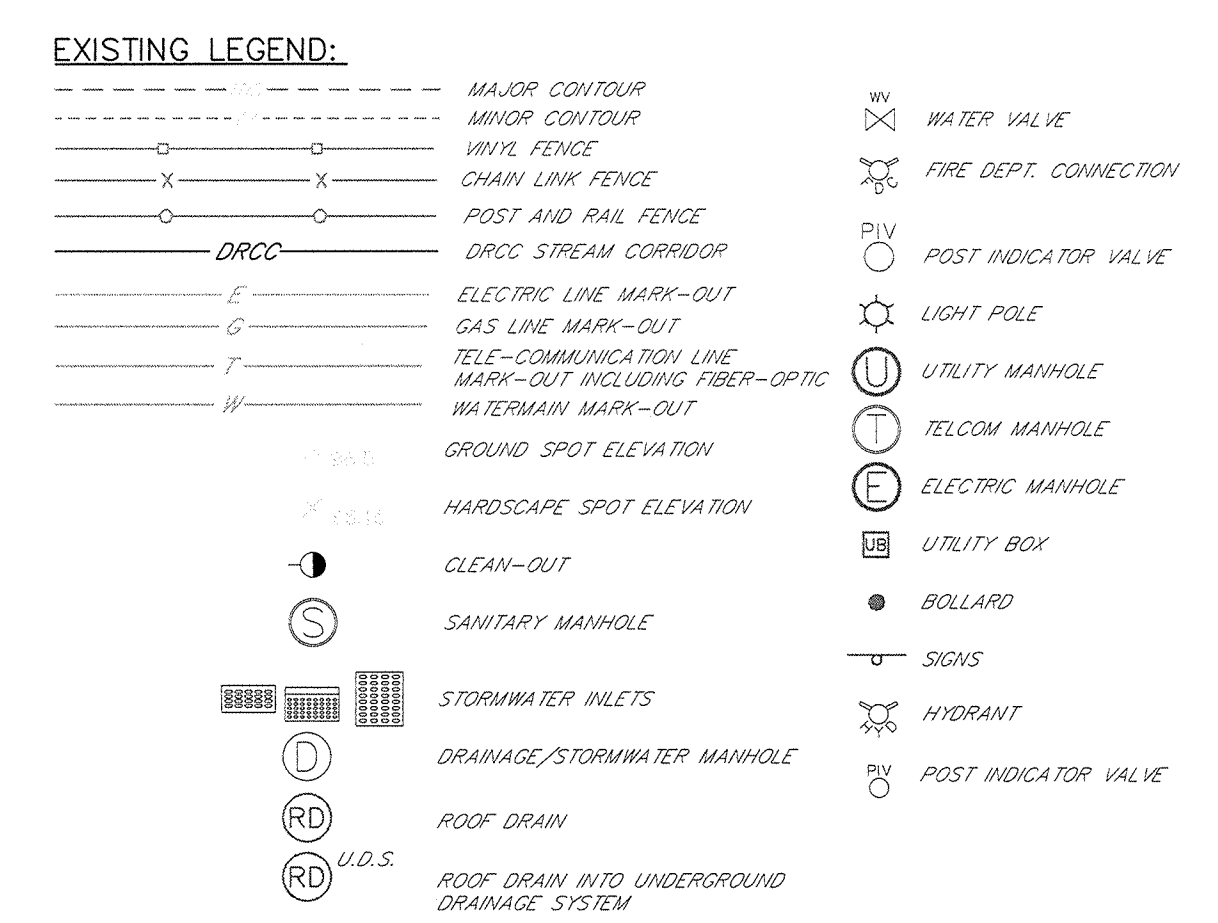
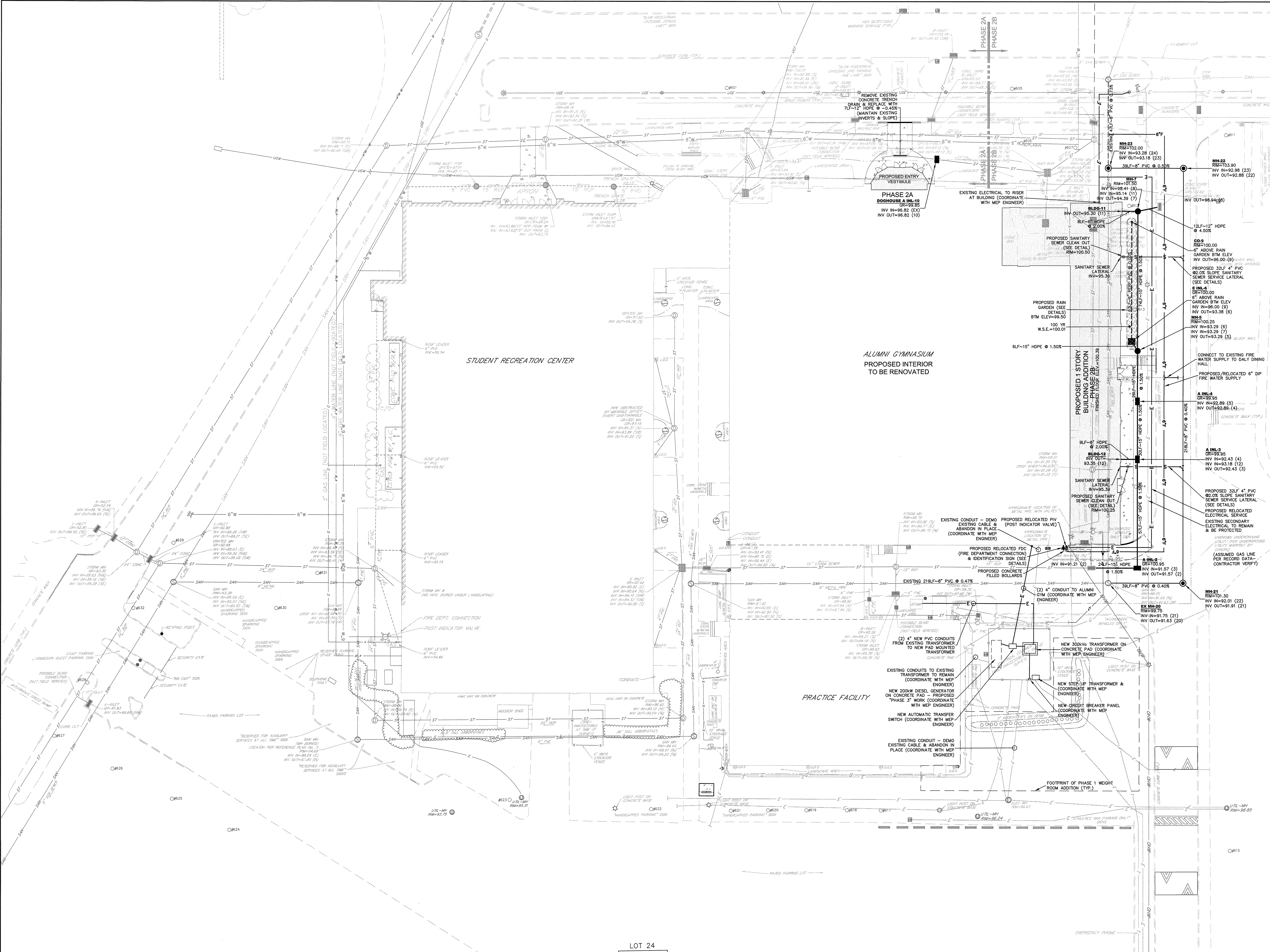
LAWRENCE TWP. TAX MAP DATA:  
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BLOCK 2801  
LOT 24



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<b>THOMAS E. O'SHEA</b> N.J. PROFESSIONAL ENGINEER LIC. NO. GE 31228		
<b>SITE UTILITY PLAN - PHASE 1</b> OF <b>ADDITIONS &amp; RENOVATIONS TO</b> <b>ALUMNI GYM &amp; STRENGTH &amp; CONDITIONING CENTER</b> PREPARED FOR <b>RIDER UNIVERSITY</b> SITUATED IN LAWRENCE TOWNSHIP MERCER CO., N.J. DATE 08/17/21 SCALE 1"=20' SEPTEMBER 17, 2021		
REV. DESCRIPTION DATE DFT BY CKD BY	DRAWN BY JRM DATE 08/17/21 CHECKED BY BRP/MNK DATE 09/17/21	FIELD BK ORDER No. 44790-400-21 FILE No. 204-C-2 SHEET No. CE-7

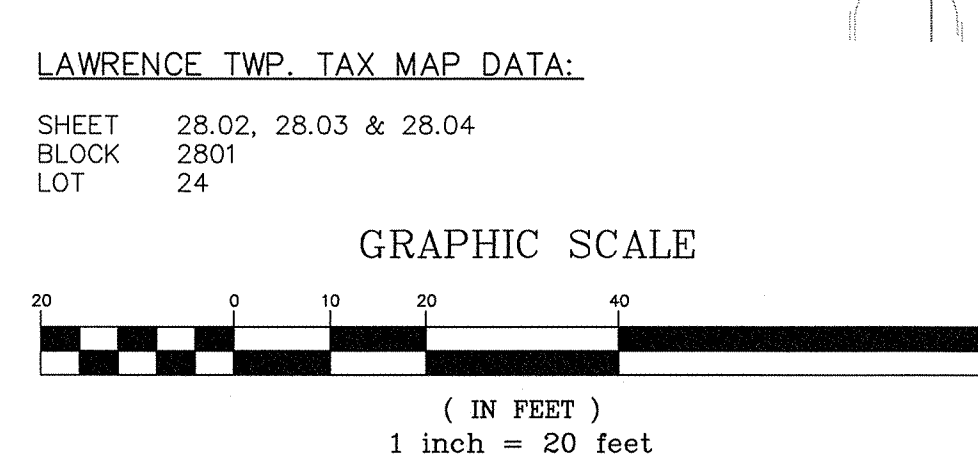
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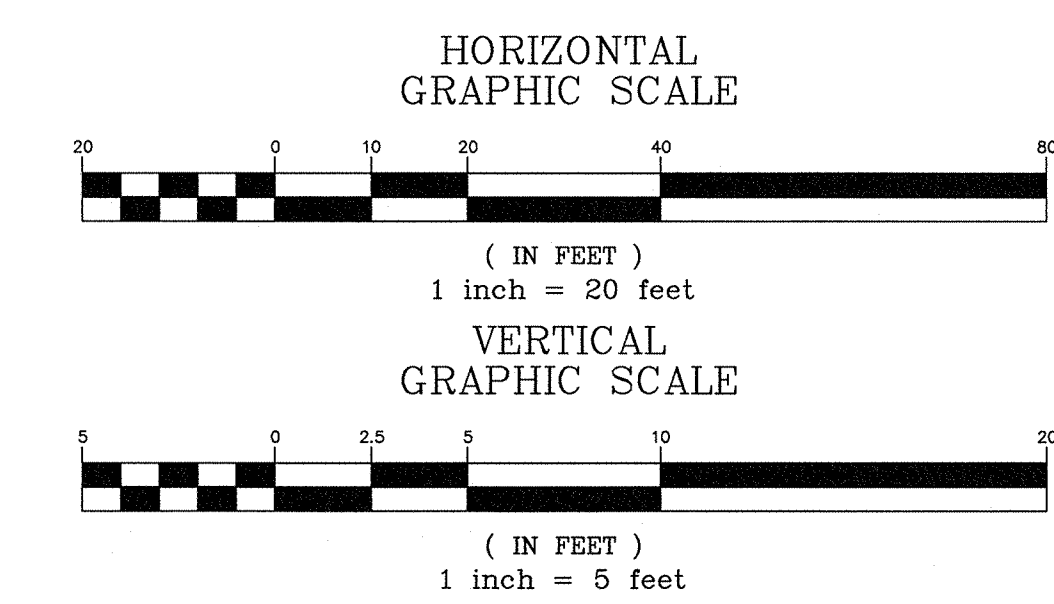
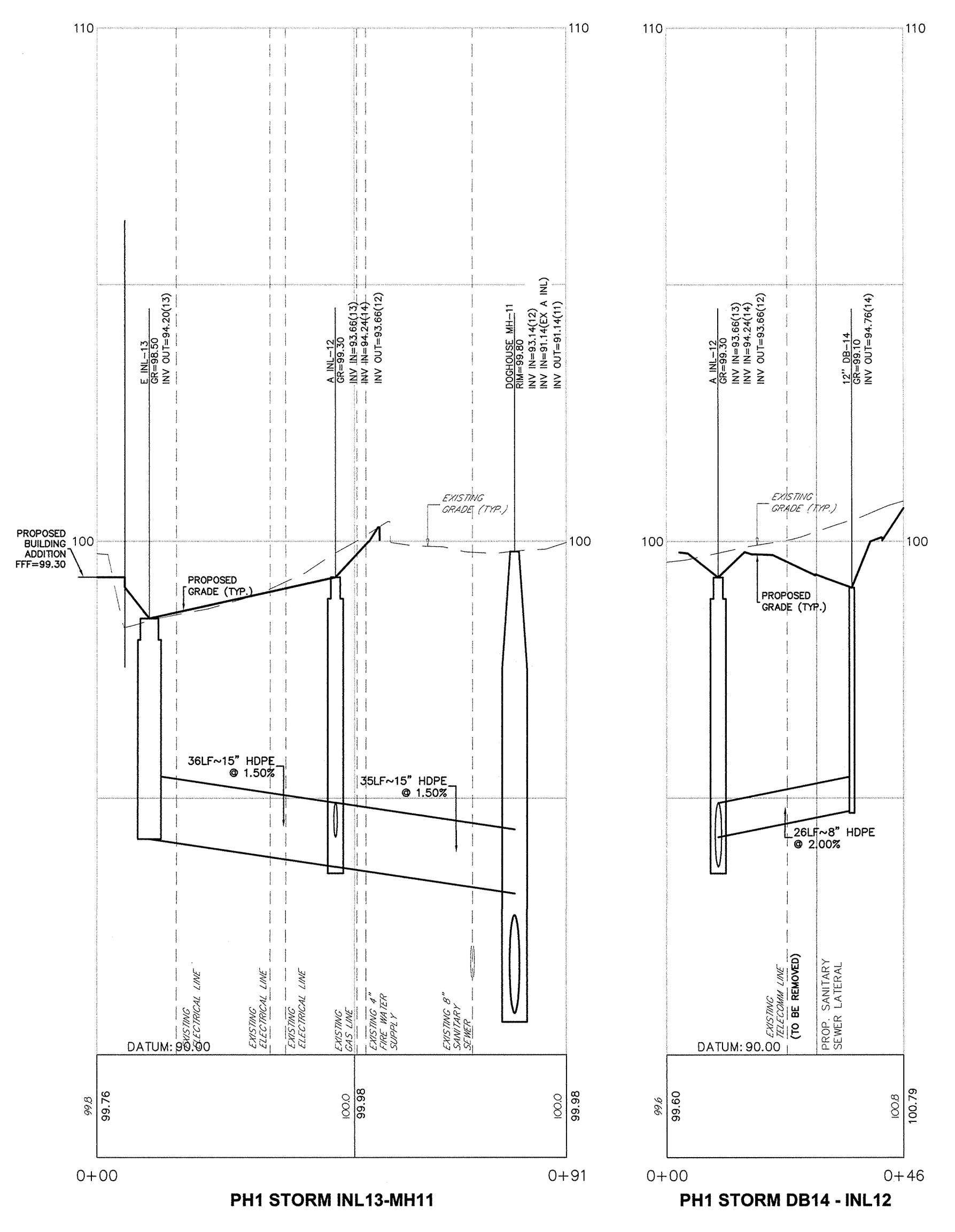
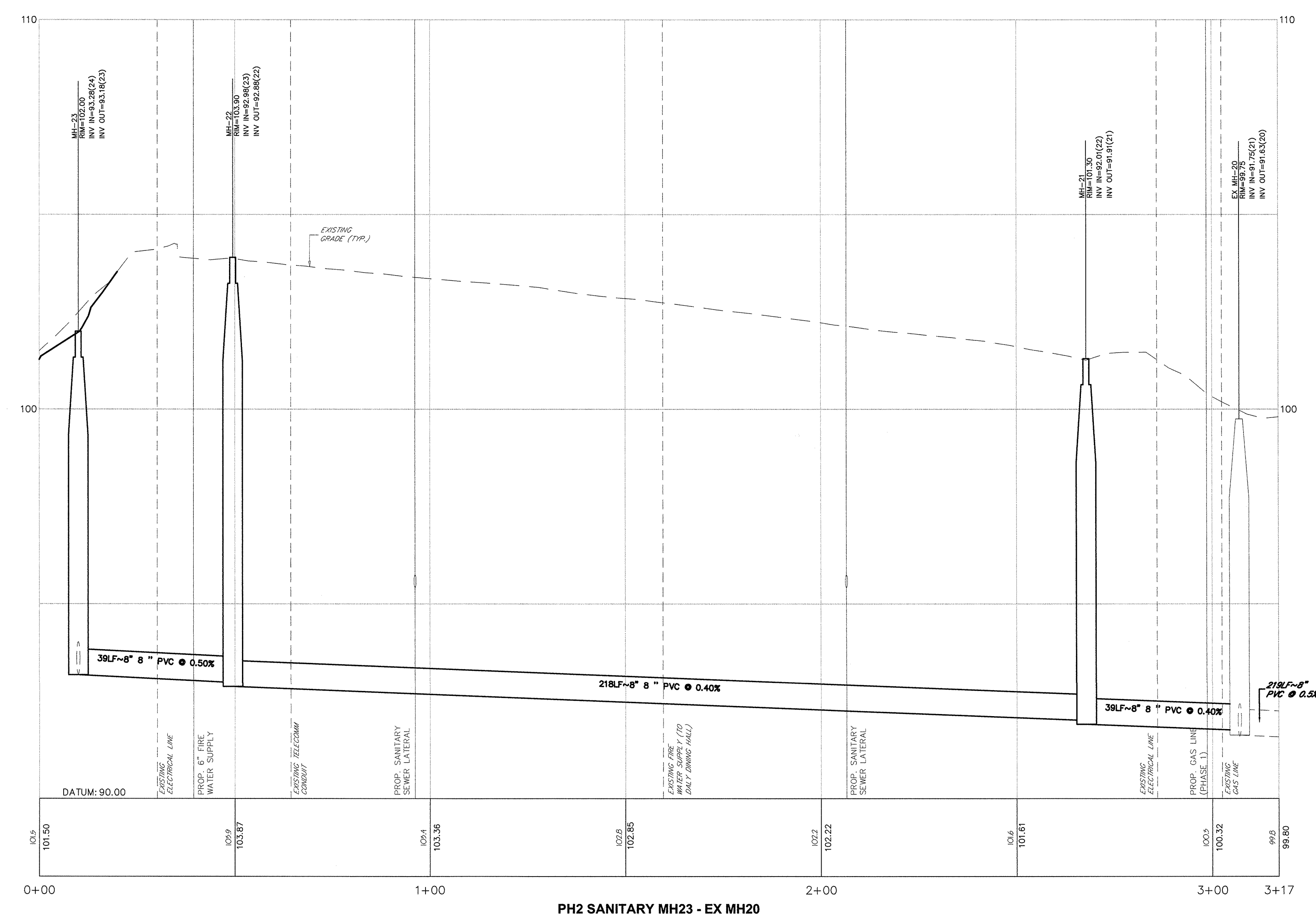
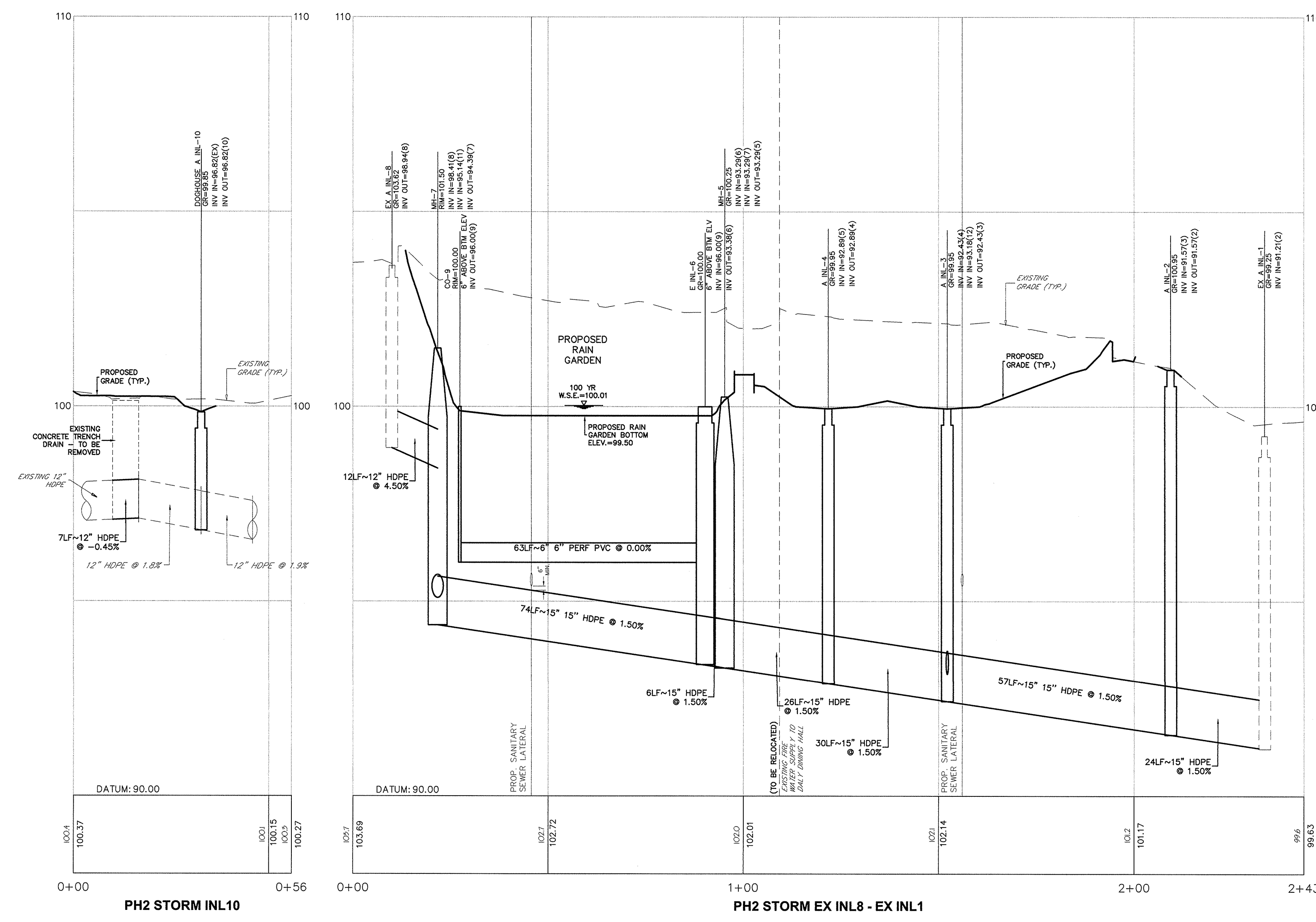
- UTILITY NOTES:**
- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS/her SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO THE START OF CONSTRUCTION, IF REQUIRED.
  - THE CONTRACTOR SHALL CALL THE "ONE NUMBER TO CALL SYSTEM" 1-800-272-1000, NOT LESS THAN 72 HOURS NOR MORE THAN 10 WORKING DAYS PRIOR TO PLANNED WORK TO NOTIFY UTILITY OWNERS OF HIS INTENT TO START WORK. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING "PRIVATE" NON-MEMBER UTILITY OWNERS INDIVIDUALLY. ALL WORK SHALL BE COORDINATED WITH UTILITY OWNERS INCLUDING, BUT NOT LIMITED TO, PUBLIC SERVICE ELECTRIC AND GAS CO., VERIZON TELEPHONE CO., THE SERVING WATER COMPANY, PRIOR TO THE START OF CONSTRUCTION, IF REQUIRED.
  - THE DEPICTION OF EXISTING UNDERGROUND FEATURES SHOWN HEREON IS BASED ON RECORD DATA, SURFACE EVIDENCE AND SUBSURFACE MARKOUT BY OTHERS ONLY. THIS DOES NOT PRECLUDE THE EXISTENCE OR ABSENCE OF UNDERGROUND FEATURES ON, ACROSS, OR ADJACENT TO THE PROJECT SITE. SUBSURFACE UTILITY MARKOUT BY OTHERS ARE LIMITED AND DID NOT COVER ENTIRE LOT.
  - COORDINATE ALL UTILITIES WITH THE ARCHITECTURAL, MEP PLANS, LANDSCAPE PLANS, AND RIDER UNIVERSITY.
  - COORDINATE ALL UTILITIES WITH APPROPRIATE SERVING UTILITY COMPANY/PROVIDER. INSTALL PER UTILITY COMPANY REQUIREMENTS & STANDARDS.
  - CONTRACTOR VERIFY ALL EXISTING UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
  - EXISTING RICHARD E. DALY INTRAMURAL FIELDS IRRIGATION LINE AT THE EXISTING SOURCE AT THE ALUMNI GYMNASIUM SHALL BE LOCATED ON SITE & RELOCATED AS TO INSURE CONTINUED SERVICE TO THE ATHLETIC FIELDS. COORDINATE WITH OWNER.

LOT 24  
BLOCK 2801  
4,900,456± SQ. FT.  
112.499± ACRES



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<p><b>THOMAS E. O'SHEA</b> N.J. PROFESSIONAL ENGINEER LIC. NO. GE 31228</p>		
<p>DATE OF SIGN: 09/17/2021</p>		<p>SCALE 1"=20'</p> <p>MERCER CO., N.J. SEPTEMBER 17, 2021</p>
<p>DATE: 08/17/21</p>		
<p>REVISIONS:</p>		<p>LAWRENCE TOWNSHIP</p> <p>ORDER NO. FILE NO. SHEET NO.</p> <p>44780-400-21 204-C-2 <b>CE-8</b></p>
<p>DATE: 09/17/21</p>		

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REV.	DESCRIPTION	DATE	BY	CHKD BY

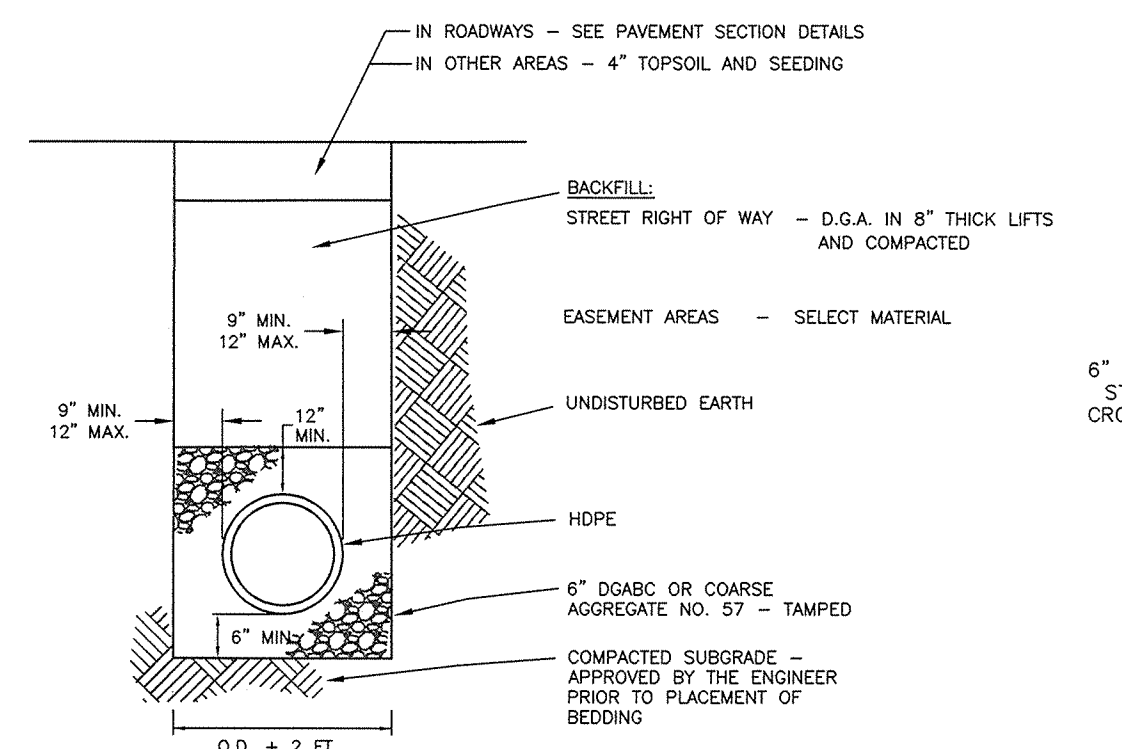
09/17/2021  
 DATE OF SIGN  
**THOMAS E. O'SHEA**  
 N.J. PROFESSIONAL ENGINEER LIC. NO. GE 31228

**van note-harvey associates, inc.**  
 consulting engineers, planners & land surveyors  
 103 Cottage Road East • Princeton, NJ 08540 • 609-951-2323  
 211 Bayberry Drive • Cape May Court House, NJ 08204 • 609-465-2800  
 www.vannoteharvey.com Certificate of Authorization No. 246A23271039

**UTILITY PROFILES**  
 OF  
 ADDITIONS & RENOVATIONS TO  
 ALUMNI GYM & STRENGTH & CONDITIONING CENTER  
 PREPARED FOR  
 RIDER UNIVERSITY  
 SITUATED IN  
 LAWRENCE TOWNSHIP MERCER CO., N.J.  
 SCALE AS SHOWN SEPTEMBER 17, 2021

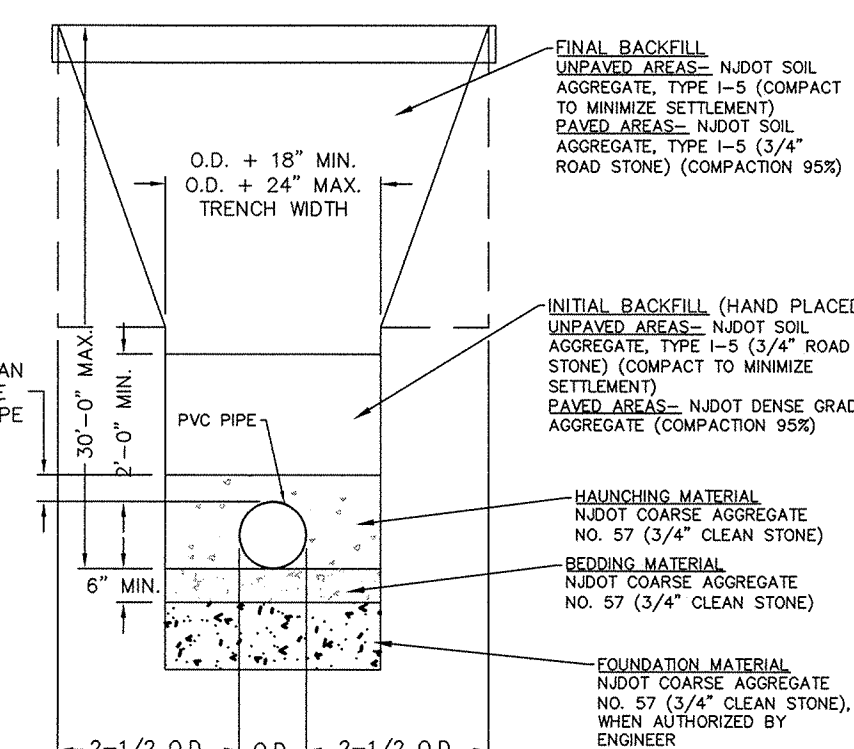
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DATE: 08/17/21	44760-400-21	204-C-2	CE-9
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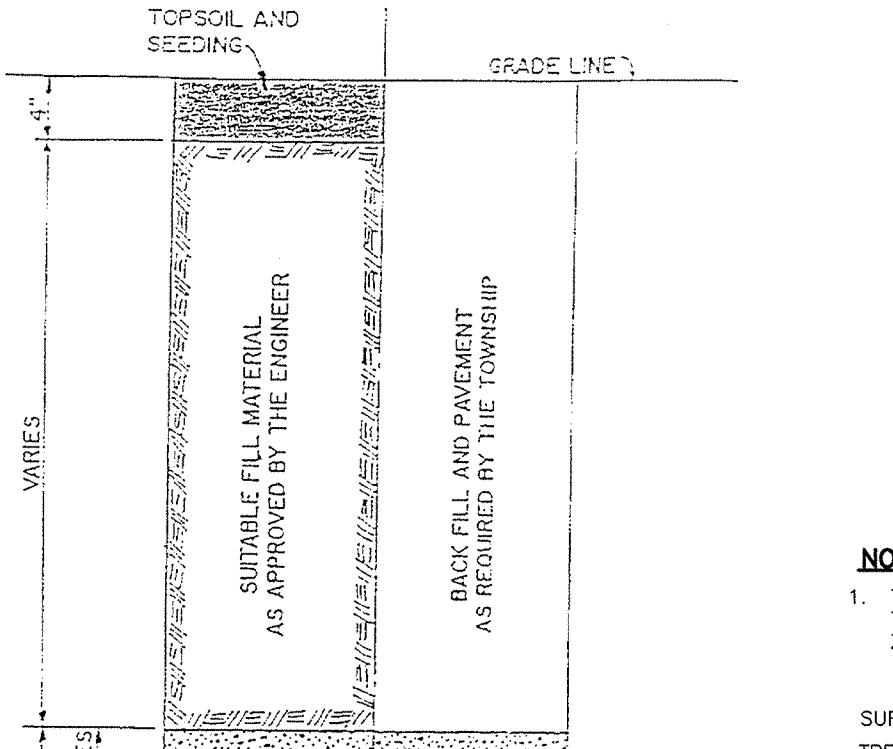
- NOTES:
1. PAY LIMITS MAY BE EXTENDED AS DETERMINED BY THE ENGINEER.
2. TEMPORARY SHEETING AND SHORING MUST BE PROVIDED IN COMPLIANCE WITH O.S.H.A.
3. TRENCH BACKFILL FOR ALL UTILITIES SHALL BE IN ACCORDANCE WITH THIS DETAIL.
4. ALL TRENCHES GREATER THAN FIVE FEET (5') IN DEPTH SHALL BE SHORED, SLOPED OR BENTCHED.
5. ALL TRENCHES GREATER THAN FOUR FEET (4') IN DEPTH SHALL BE PROVIDED WITH A FIXED MEANS OF EGRESS.

STORM SEWER TRENCH DETAIL



- NOTES:
1. PERMISSIBLE TRENCH SUPPORTS OR SHEETING EXTENDS BELOW THE TOP OF THE PIPE AND/OR HORIZONTALLY WITHIN 2-1/2 DIAMETERS OF THE PIPE ON EITHER SIDE. THE ENTIRE TRENCH WIDTH TO 2' OVER THE PIPE SHALL BE COMPACTED TO THE REQUIRED DENSITY AFTER REMOVAL OF ALL THE SUPPORTS.
2. THE MAXIMUM ALLOWABLE PIPE DEFLECTION (REDUCTION IN VERTICAL INSIDE DIAMETER) SHALL BE 5% OF THE PIPE INSIDE DIAMETER AS SHOWN UNDER THE ITEM DUTILITY 'STANDARD' SEWER PIPE.

DIP / PVC PIPING TRENCH DETAIL



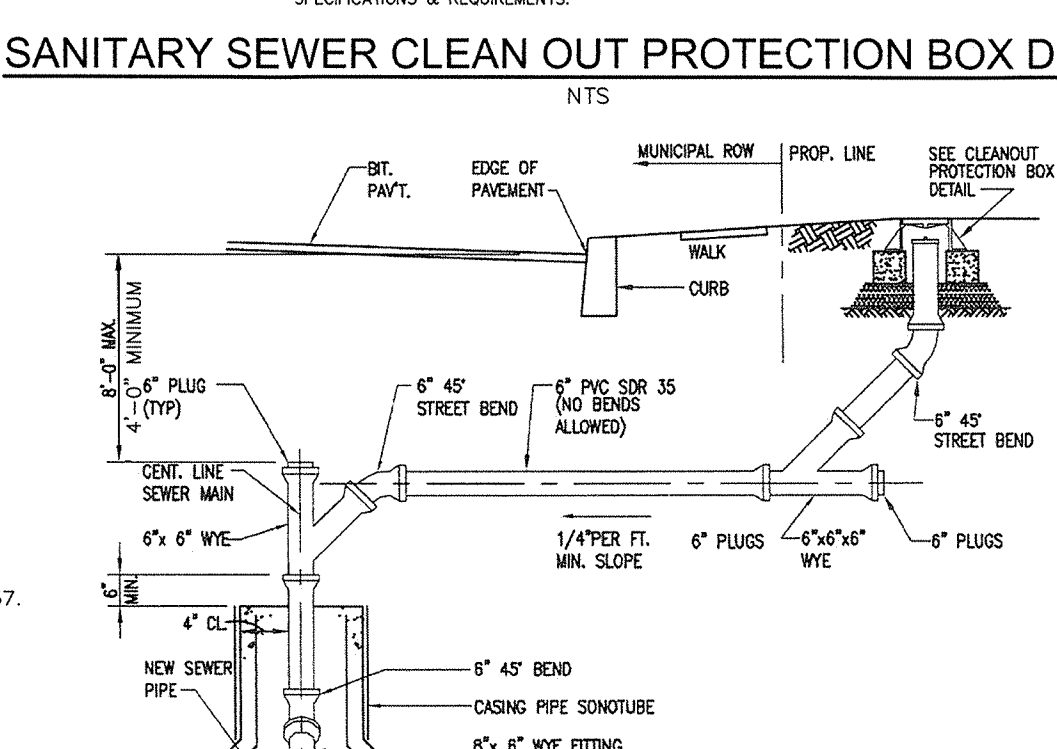
- NOTES:
1. THE MAXIMUM PIPE DENSITIES SHALL BE DETERMINED IN ACCORDANCE WITH ASTM DESIGNATION D1557. THE MINIMUM PERCENTAGE OF COMPACTION TO BE ACHIEVED BY THE CONTRACTOR IN THE VARIOUS ZONES IS AS FOLLOWS:
SURFACE ZONE: 95%
TRENCH BACKFILL ZONE: 90%
PIPE EMBEDMENT ZONE: 95%
THE MINIMUM COMPACTION IN EMBANKMENTS SHALL BE 90%.

SANITARY SEWER TRENCH DETAIL

PIPE EMBEDMENT ZONE WIDTH SCHEDULE table with columns for INSIDE DIA., TRENCH WIDTH, and LOCATION.

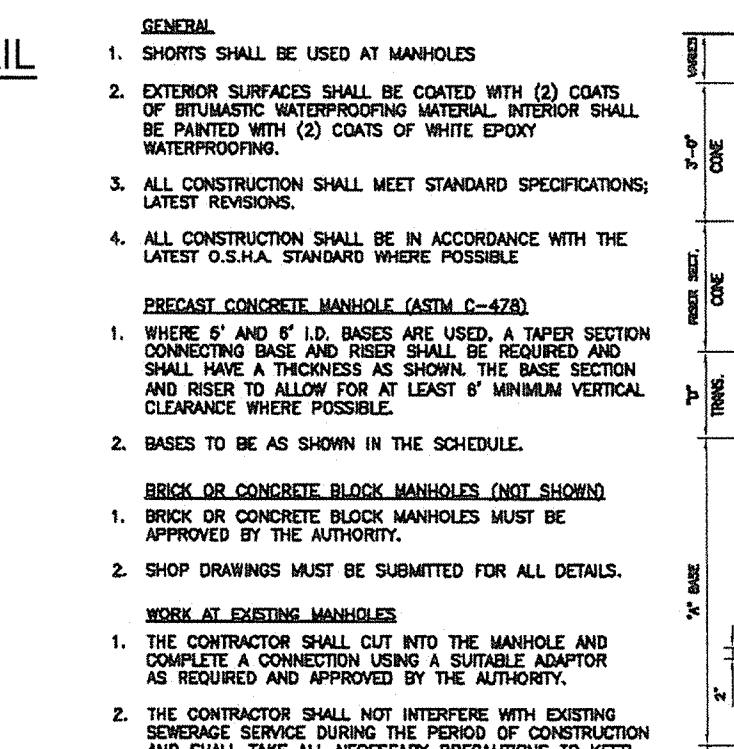
- NOTES:
1. INSTALLATION & CONSTRUCTION SHALL BE IN ACCORDANCE WITH EING LAWRENCE ENGINEERING & SURVEYING SPECIFICATIONS & REQUIREMENTS.
2. THE PIPE EMBEDMENT ZONE WIDTH AND THE MAXIMUM TRENCH WIDTH SHALL NOT EXCEED THE PERMISSIBLE WIDTHS SHOWN. IF THE PERMISSIBLE WIDTH IS EXCEEDED, THE PIPE SHALL BE INSTALLED IN A HIGHER CLASS BEDDING THAN SHOWN ON THE DRAWINGS OR THE SPECIFIED PIPE SHALL BE REPLACED WITH PIPE OF GREATER CRUSHING STRENGTH OR BOTH TO ACHIEVE SUITABLE CONDITIONS.
3. SUITABLE MATERIAL FROM EXCAVATIONS SHALL BE FREE FROM OBJECTIONABLE QUANTITIES OF ORGANIC MATTER, CLAYS, TREES, STUMPS, FROZEN MATERIAL, RUBBLE, REFUSE, CONDS, ROCK AND OTHER MATERIALS CONSIDERED DELETERIOUS BY THE AUTHORITY AND SHALL NOT HAVE FINES IN EXCESS OF 10 PERCENT PASSING THE NO. 200 SIEVE NOR STONE OR GRAVEL LARGER THAN 3 INCHES.
4. FOR PIPE MATERIAL OTHER THAN PVC, PIPE EMBEDMENT ZONE MAY BE INCREASED BY 6 INCHES.

SANITARY SEWER EMBEDMENT DETAIL



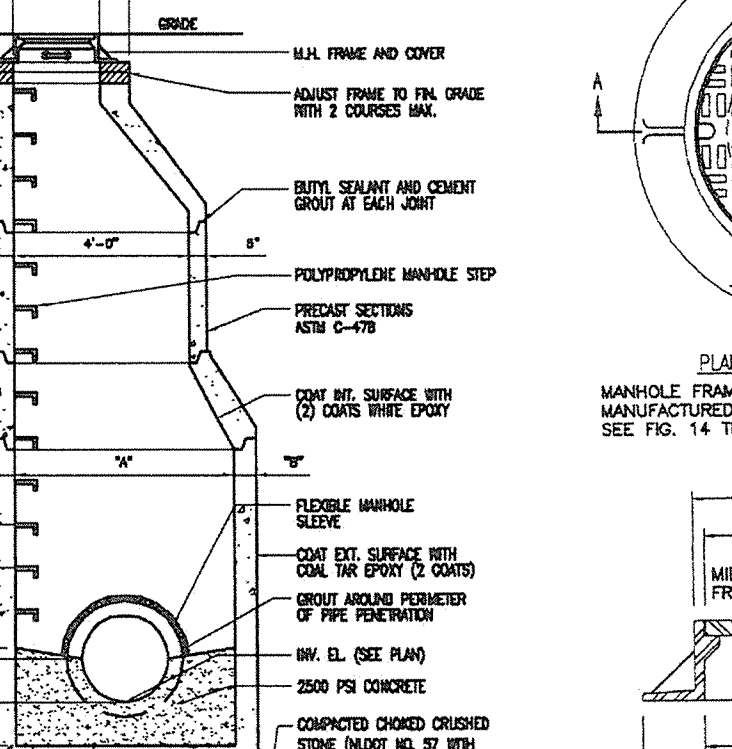
- NOTES:
1. INSTALLATION & CONSTRUCTION SHALL BE IN ACCORDANCE WITH EING LAWRENCE ENGINEERING & SURVEYING SPECIFICATIONS & REQUIREMENTS.
2. THE BOX SHALL BE CONSTRUCTED OF PRECAST CONCRETE OR CAST-IN-PLACE CONCRETE.
3. THE BOX SHALL BE SET IN A BED OF 4" MIN. OF 3/4" CLEAN COMPACTED STONE.

SANITARY SEWER CLEAN OUT PROTECTION BOX DETAIL



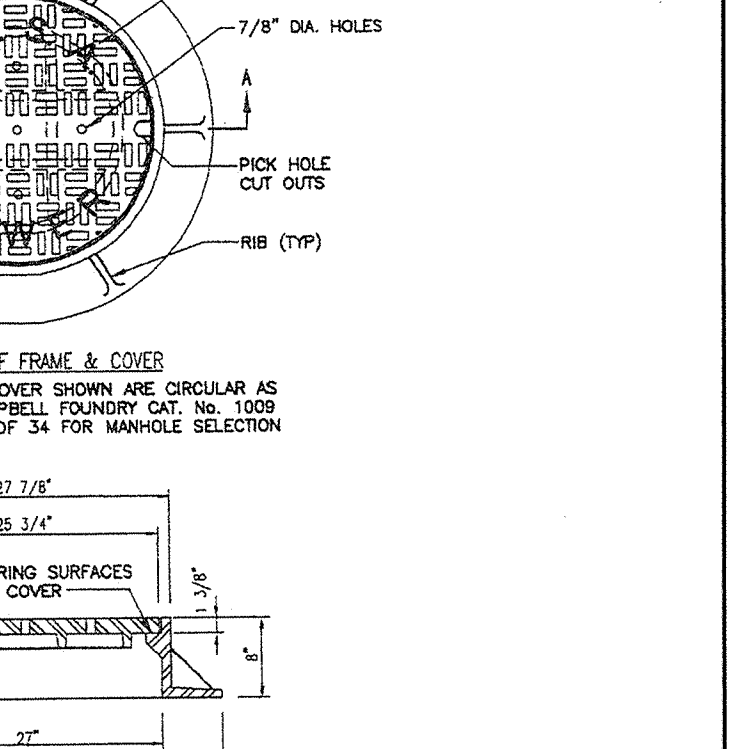
- NOTES:
1. INSTALLATION & CONSTRUCTION SHALL BE IN ACCORDANCE WITH EING LAWRENCE ENGINEERING & SURVEYING SPECIFICATIONS & REQUIREMENTS.
2. THE LATERAL SHALL BE INSTALLED IN A BED OF 4" MIN. OF 3/4" CLEAN COMPACTED STONE.

SANITARY SEWER LATERAL DETAIL



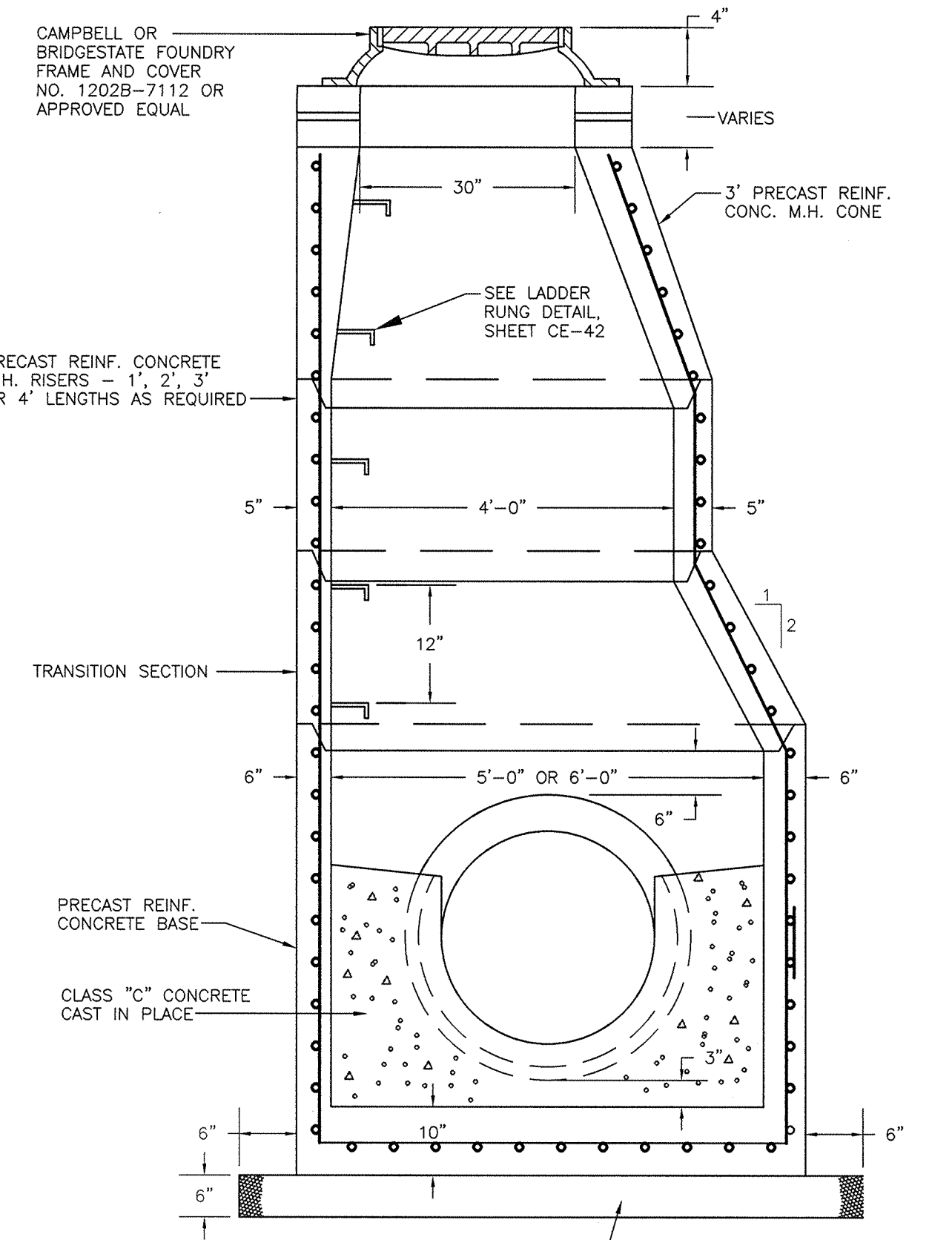
- NOTES:
1. INSTALLATION & CONSTRUCTION SHALL BE IN ACCORDANCE WITH EING LAWRENCE ENGINEERING & SURVEYING SPECIFICATIONS & REQUIREMENTS.
2. THE MANHOLE SHALL BE SET IN A BED OF 4" MIN. OF 3/4" CLEAN COMPACTED STONE.

SANITARY SEWER MAN HOLE DETAIL



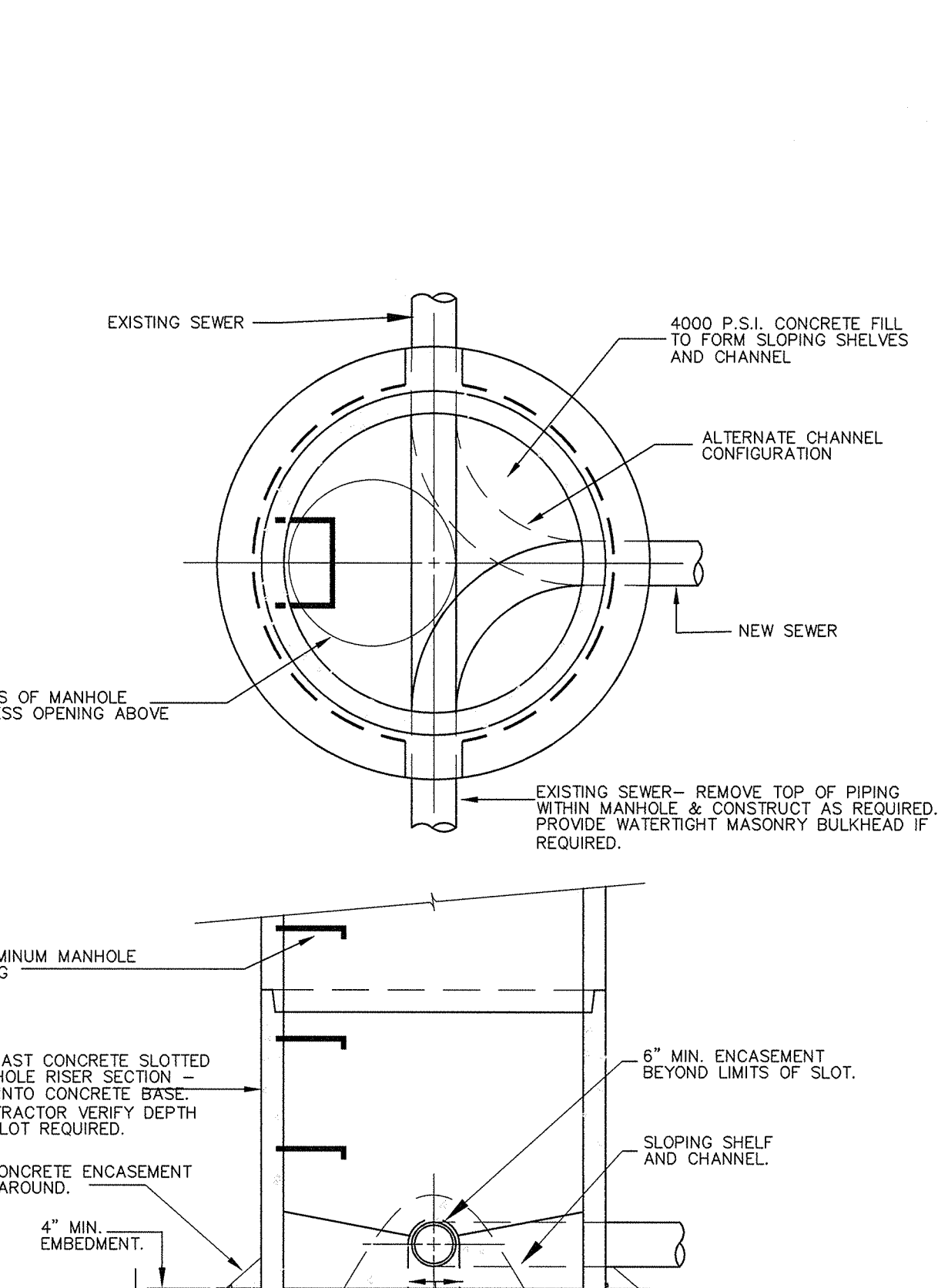
- NOTES:
1. INSTALLATION & CONSTRUCTION SHALL BE IN ACCORDANCE WITH EING LAWRENCE ENGINEERING & SURVEYING SPECIFICATIONS & REQUIREMENTS.
2. THE COVER SHALL BE SET IN A BED OF 4" MIN. OF 3/4" CLEAN COMPACTED STONE.

SANITARY SEWER MAN HOLE COVER DETAIL



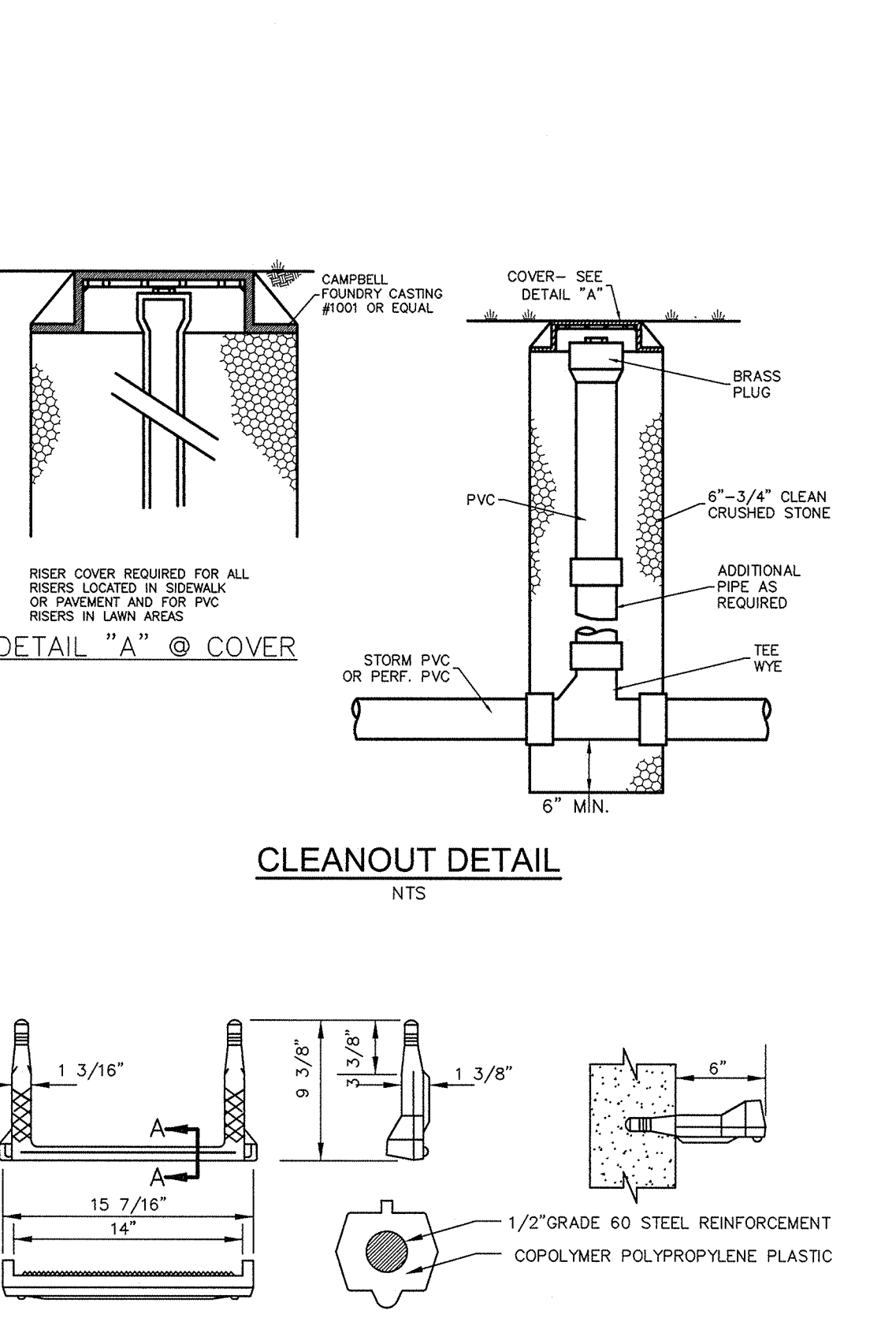
- NOTES:
1. MANHOLE DIAMETER SHALL BE AS REQUIRED.
2. PROVIDE 6" THICK CONCRETE PAD UNDER ALL MANHOLES. PAD SHALL EXTEND A MINIMUM OF 6" IN ALL DIRECTIONS. IN LIEU OF THE PAD, A FLARED BASE SECTION, AS SHOWN, MAY BE PROVIDED.

PRECAST STORM SEWER MANHOLE DETAIL



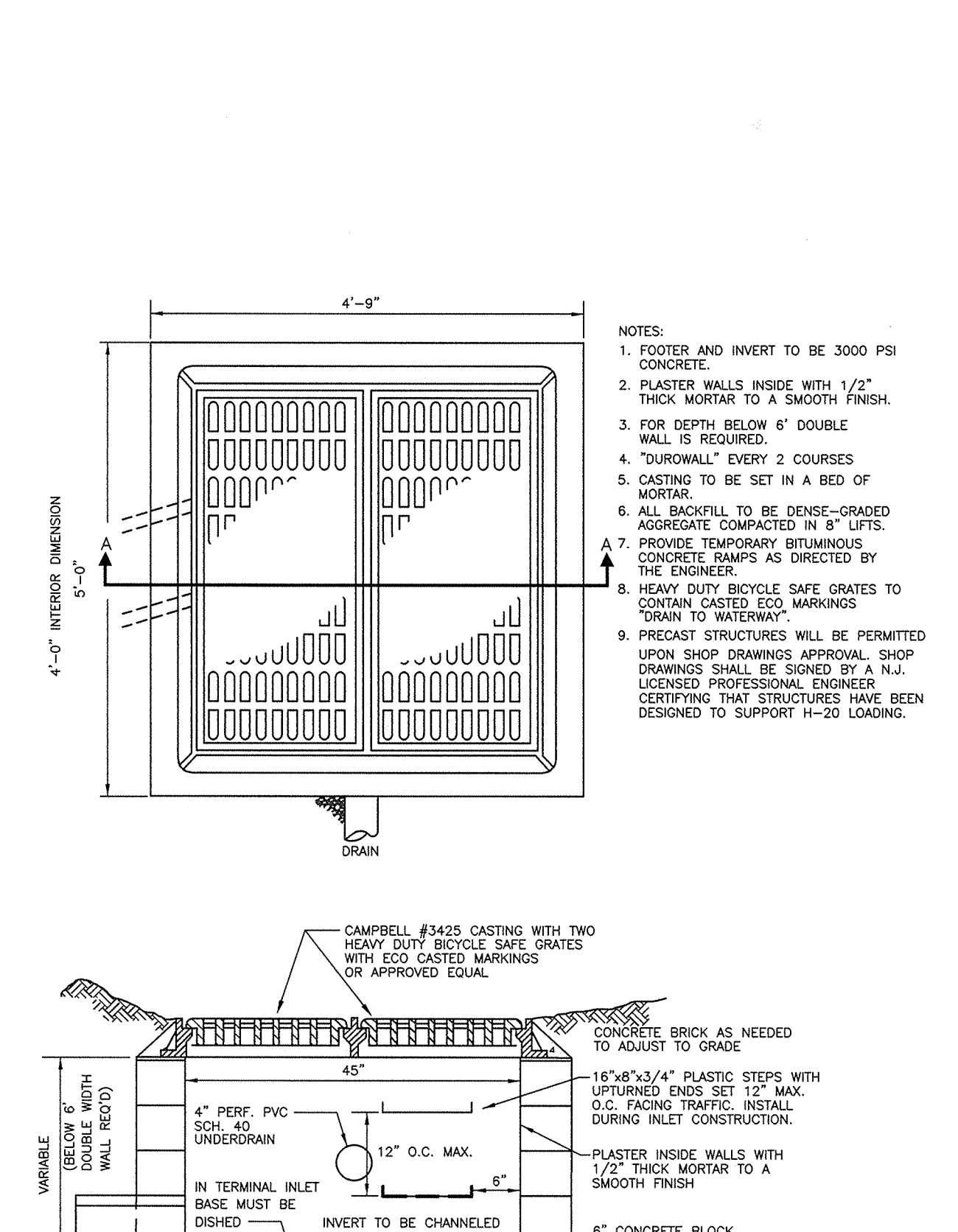
- NOTES:
1. FIRST RING SHALL BE PLACED 12" BELOW CASTING.
2. RINGS NOT REQUIRED FOR MANHOLES AND INLETS LESS THAN THREE FEET (3FT) DEEP.
3. MAXIMUM DISTANCE BETWEEN STEPS SHALL NOT EXCEED 12" AND SHALL BE UNIFORM THROUGHOUT THE LENGTH OF THE LADDER.
4. LADDER RUNGS SHALL BE INSTALLED TO FACE TRAFFIC.

DOGHOUSE MANHOLE DETAIL



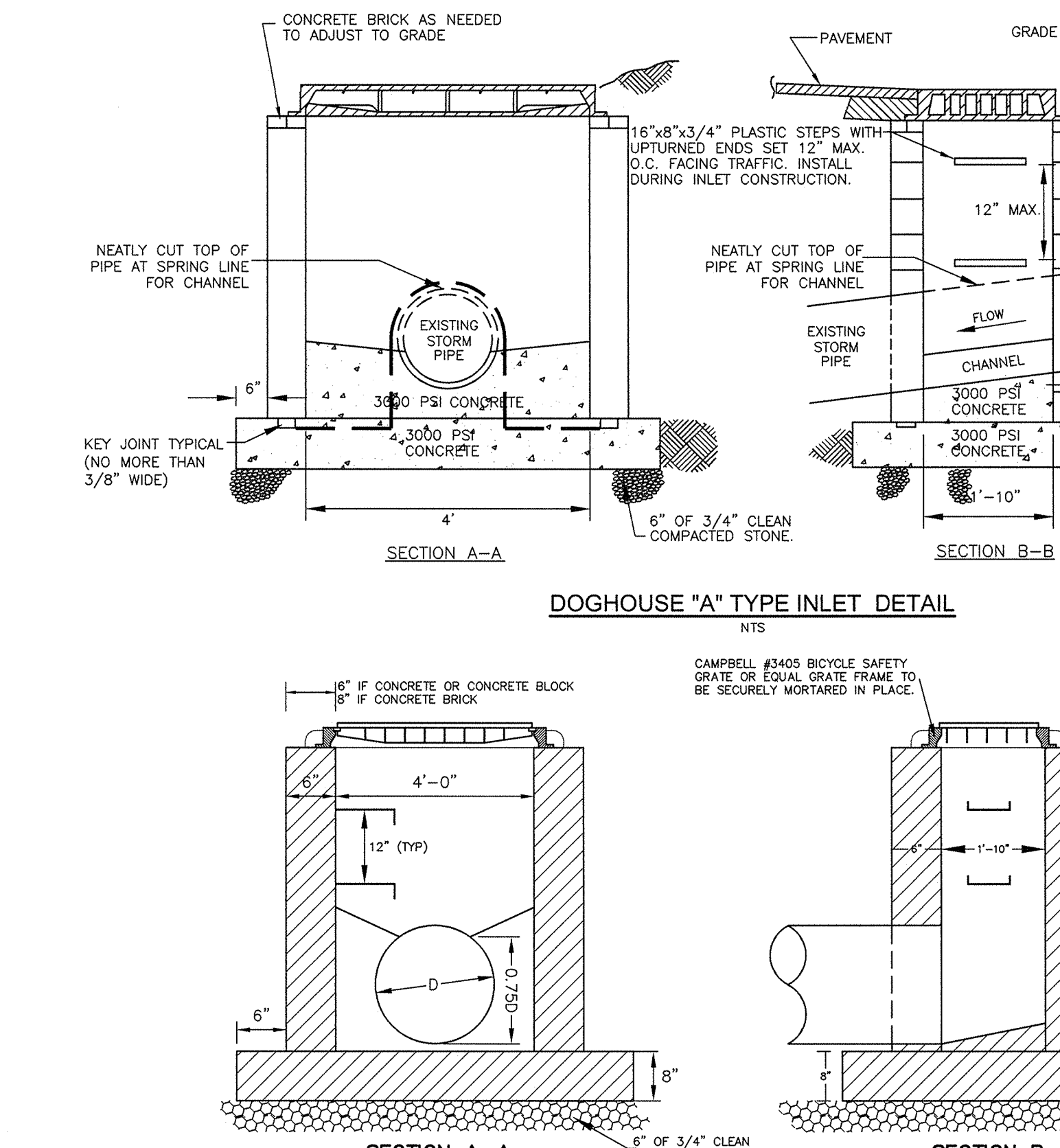
- NOTES:
1. FOOTER AND INVERT TO BE 3000 PSI CONCRETE.
2. PLASTER WALLS INSIDE AND OUT WITH 1/2" THICK CEMENT.
3. PROVIDE STEP RUNGS 12" MAX. O.C. PACING TRAFFIC INSTA. DURING INLET CONSTRUCTION.
4. FOR DEPTH BELOW 6' DOUBLE WALL IS REQUIRED.
5. MAXIMUM DISTANCE BETWEEN STEPS SHALL NOT EXCEED 12" AND SHALL BE UNIFORM THROUGHOUT THE LENGTH OF THE LADDER.
6. INLET GRATE FRAME TO BE SECURELY MORTARED IN PLACE IF BRICK.

PLASTIC LADDER RUNG DETAIL



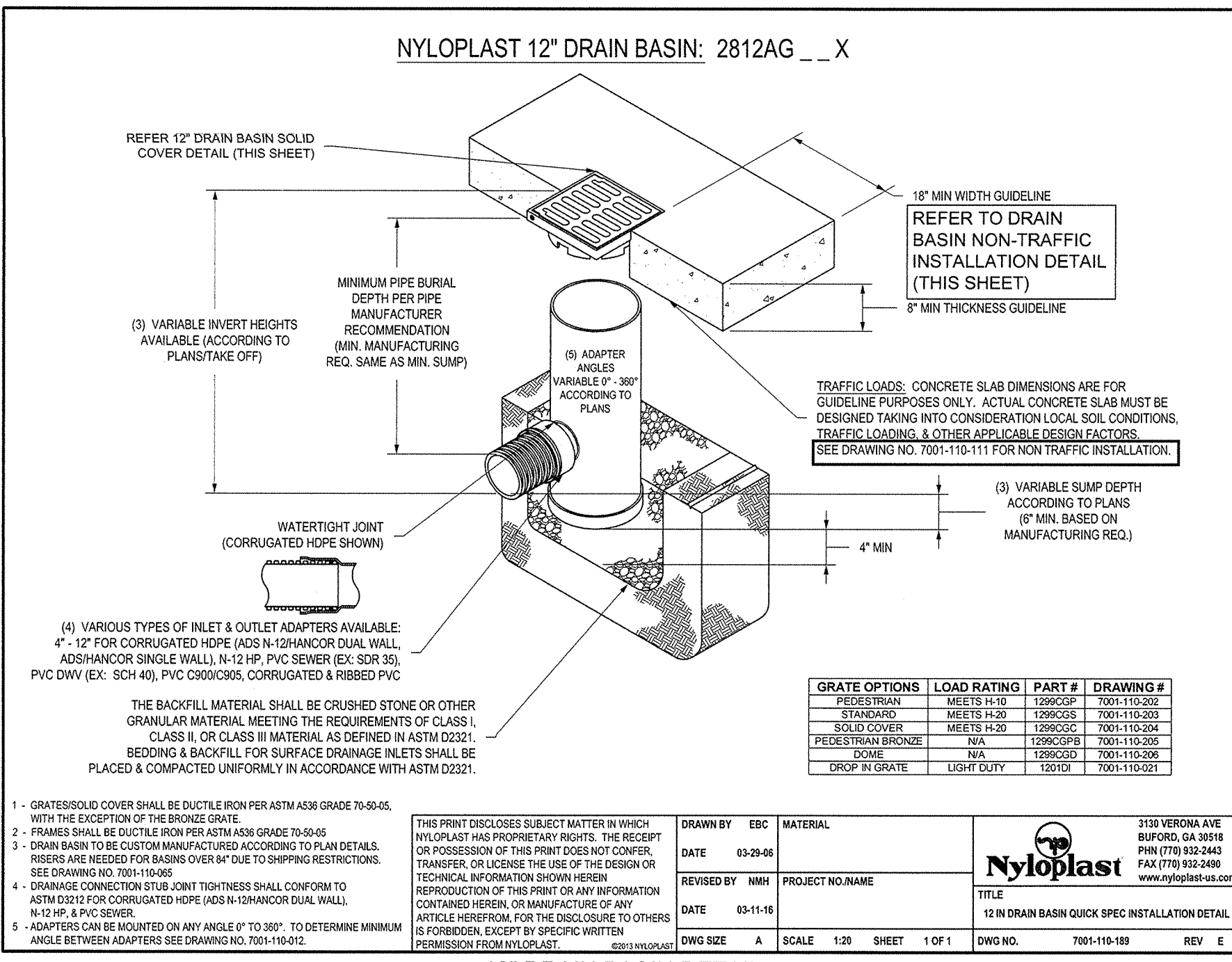
- NOTES:
1. FOOTER AND INVERT TO BE 3000 PSI CONCRETE.
2. PLASTER WALLS INSIDE AND OUT WITH 1/2" THICK CEMENT.
3. PROVIDE STEP RUNGS 12" MAX. O.C. PACING TRAFFIC INSTA. DURING INLET CONSTRUCTION.
4. FOR DEPTH BELOW 6' DOUBLE WALL IS REQUIRED.
5. MAXIMUM DISTANCE BETWEEN STEPS SHALL NOT EXCEED 12" AND SHALL BE UNIFORM THROUGHOUT THE LENGTH OF THE LADDER.
6. INLET GRATE FRAME TO BE SECURELY MORTARED IN PLACE IF BRICK.

'E' TYPE INLET DETAIL

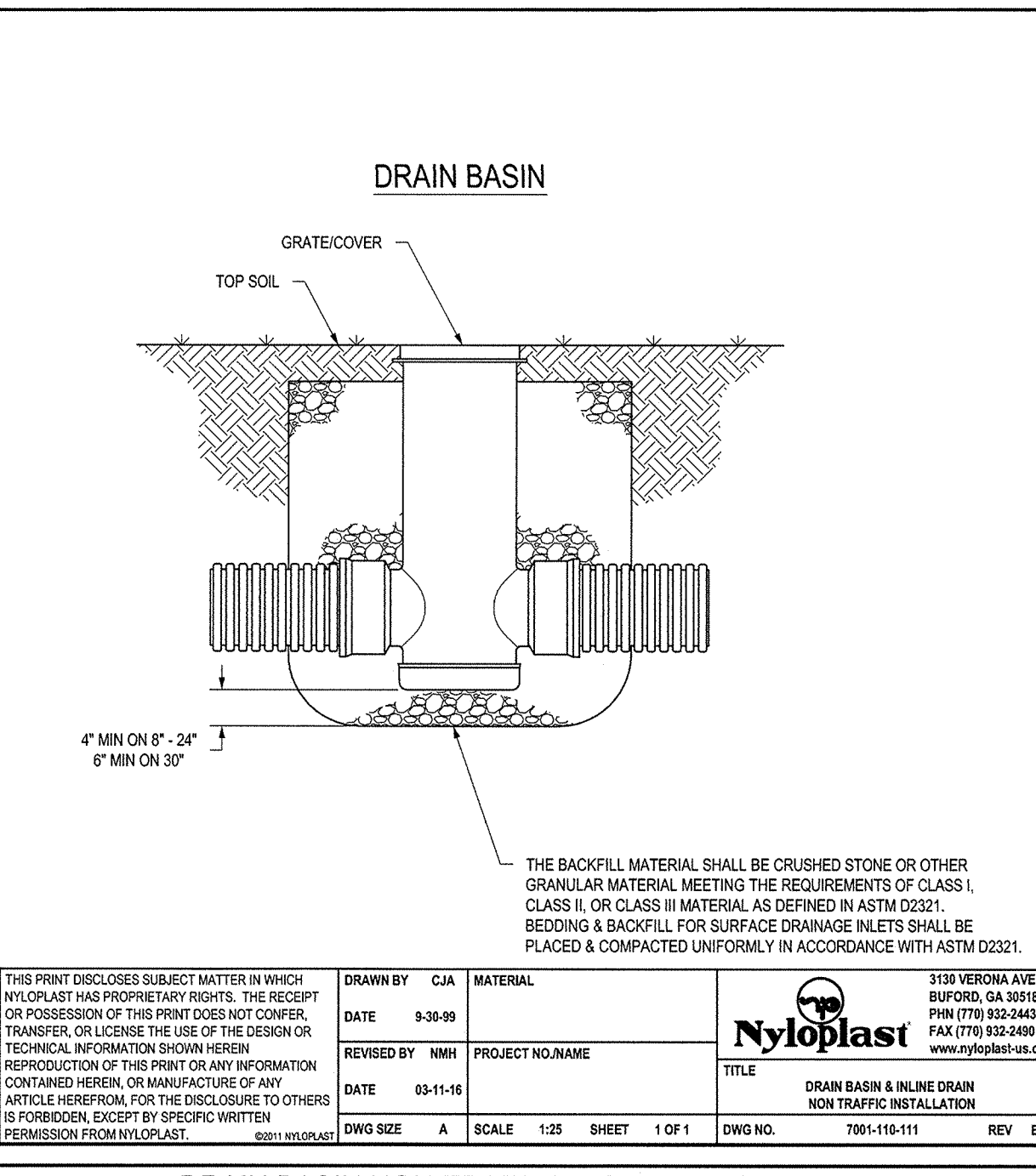


- NOTES:
1. FOOTER AND INVERT TO BE 3000 PSI CONCRETE.
2. PLASTER WALLS INSIDE AND OUT WITH 1/2" THICK CEMENT.
3. PROVIDE STEP RUNGS 12" MAX. O.C. PACING TRAFFIC INSTA. DURING INLET CONSTRUCTION.
4. FOR DEPTH BELOW 6' DOUBLE WALL IS REQUIRED.
5. MAXIMUM DISTANCE BETWEEN STEPS SHALL NOT EXCEED 12" AND SHALL BE UNIFORM THROUGHOUT THE LENGTH OF THE LADDER.
6. INLET GRATE FRAME TO BE SECURELY MORTARED IN PLACE IF BRICK.

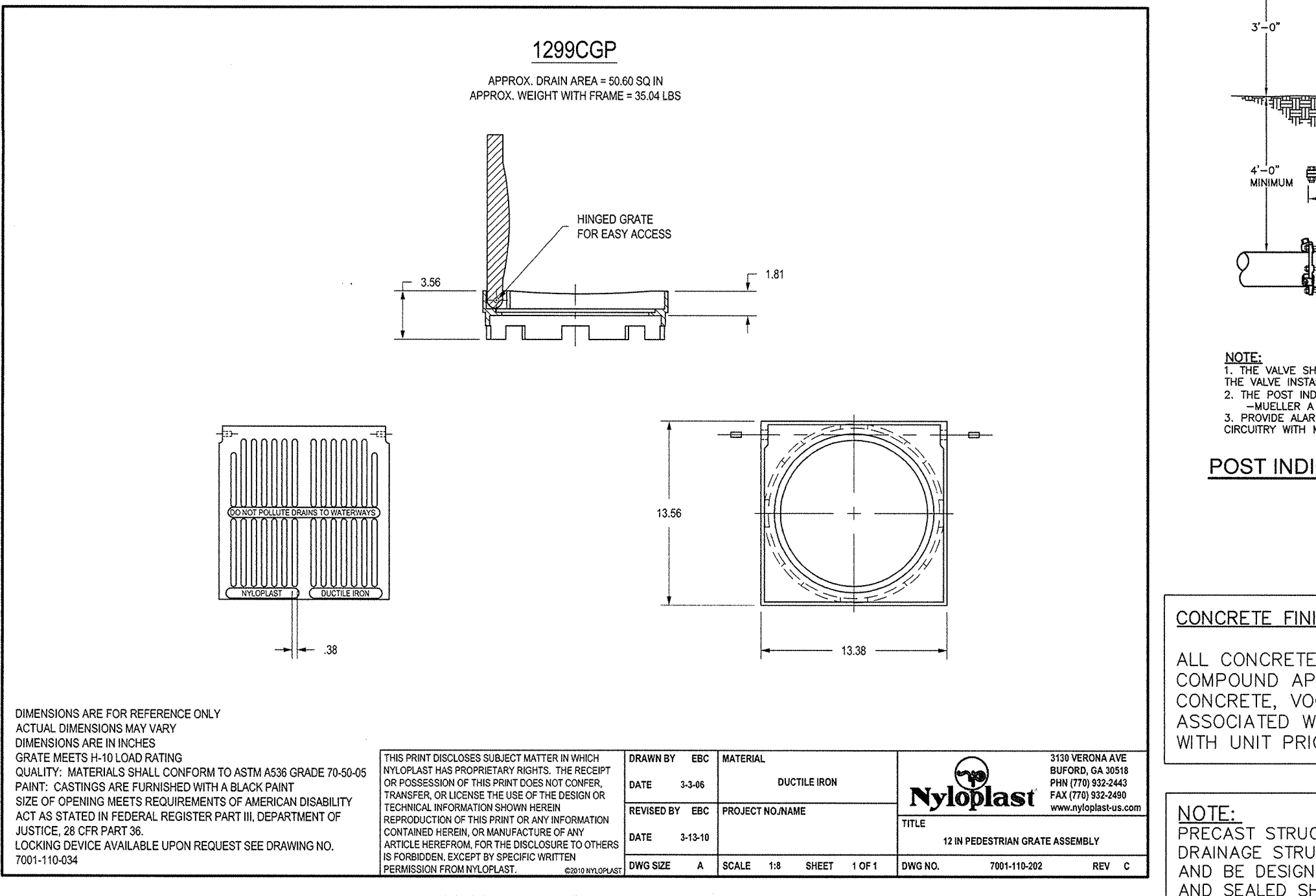
'A' TYPE INLET DETAIL



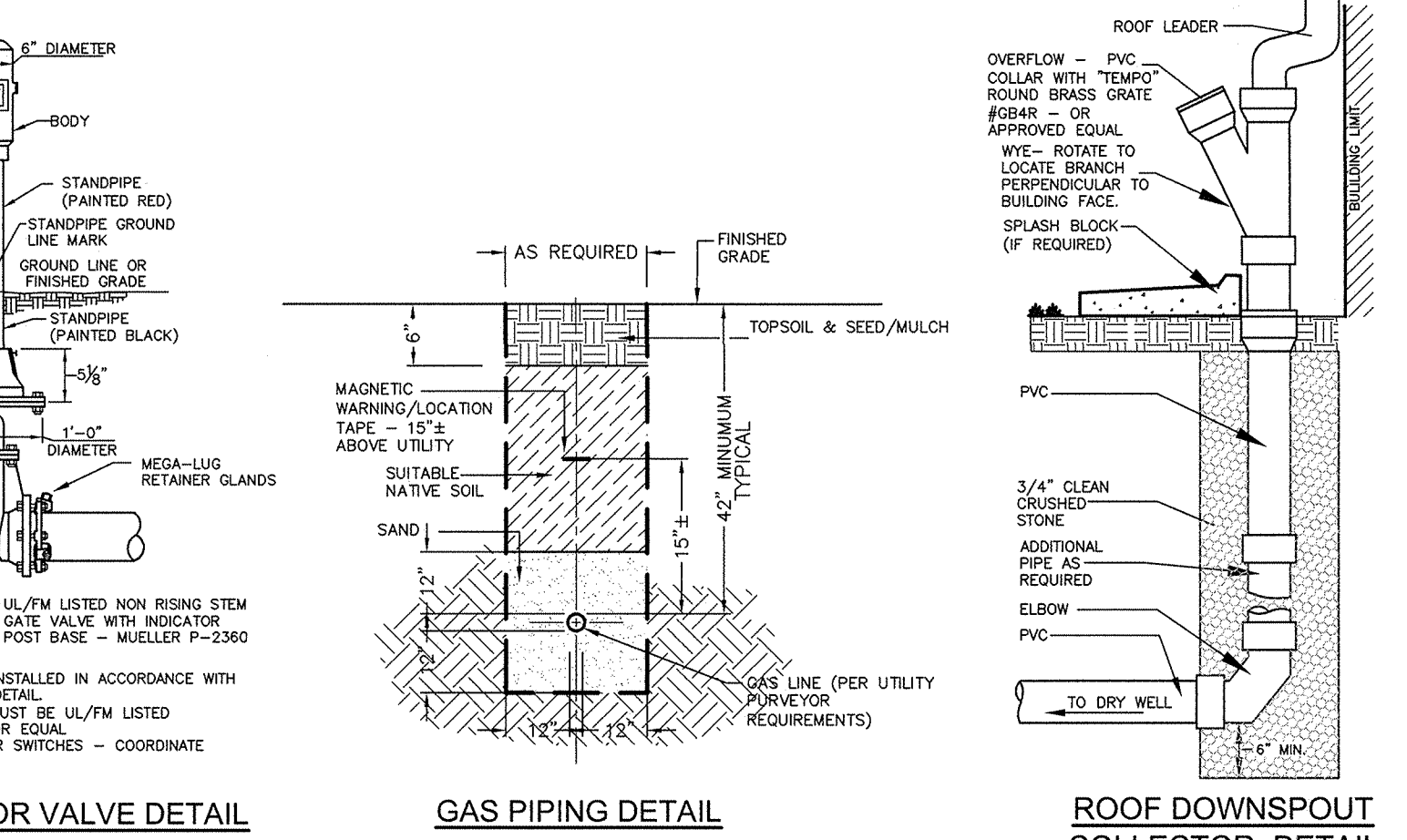
12" DRAIN BASIN DETAIL



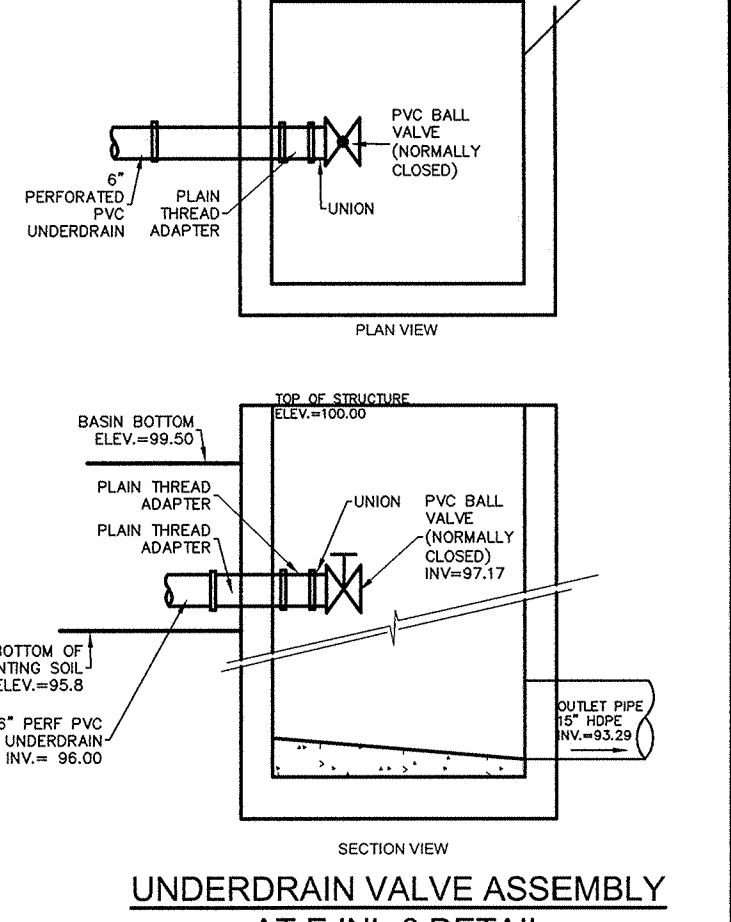
DRAIN BASIN NON-TRAFFIC INSTALLATION DETAIL



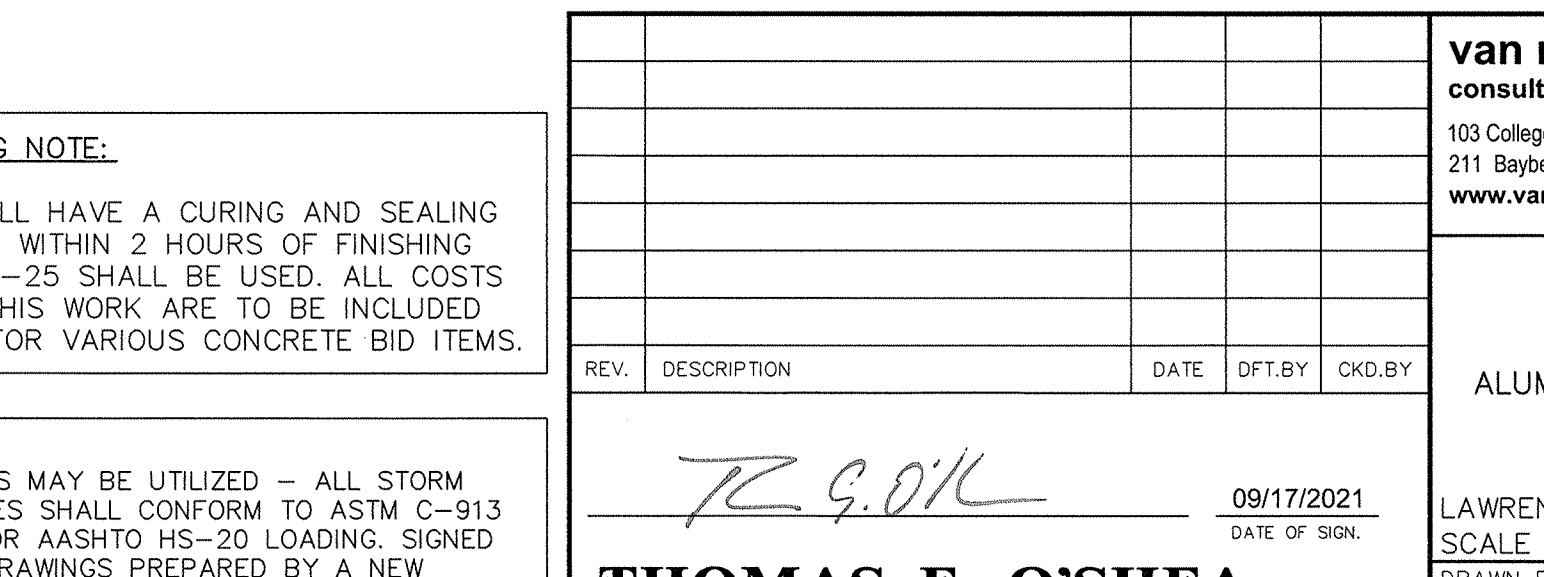
12" DRAIN BASIN GRATE DETAIL



POST INDICATOR VALVE DETAIL



GAS PIPING DETAIL



ROOF DOWNSPOUT COLLECTOR DETAIL



UNDERDRAIN VALVE ASSEMBLY DETAIL

**GENERAL NOTES:**

- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND THEREFORE MAY NOT INDICATE ALL EXISTING ENCUMBRANCES ON THE PROPERTY DELINEATED HEREON. THIS SURVEY IS SUBJECT TO THE TERMS OF A COMPLETE AND ACCURATE TITLE REPORT FOR THE PROPERTY DELINEATED HEREON AND FOR ALL ADJOINING PROPERTIES.
- BEARINGS AND/OR COORDINATES SHOWN HEREON ARE REFERENCED TO THE NEW JERSEY STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983. HORIZONTAL CONTROL FOR THIS SURVEY WAS ESTABLISHED ON THE SITE BY MEANS OF GLOBAL POSITIONING SATELLITE OBSERVATIONS MADE ON JUNE 2, 2003 AND BASED UPON THE PUBLISHED HORIZONTAL POSITIONS OF NATIONAL GEODETIC SURVEY CONTROL MONUMENTS KV604 AND KV601.
- BASE PLANNIMETRICS AND OTHER SITE FEATURES SHOWN HEREON WERE TAKEN FROM AVAILABLE PUBLIC RECORDS PROVIDED BY THE LAWRENCE TOWNSHIP DEPARTMENT OF ENGINEERING, BUT MAY NOT REFLECT THE MOST CURRENT STATE OF CONSTRUCTION ON THE SITE. IT IS NOT THE INTENTION OF THIS SURVEY TO SHOW THE MOST CURRENT CONFIGURATION OF BUILDINGS, ROADS, PARKING AREAS, ETC. ON THE PROPERTY DELINEATED HEREON.
- NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY THE SURVEYOR FOR LOCATION OF UTILITIES OR EASEMENTS, IF ANY, LOCATED BELOW THE SURFACE OF THE LANDS OR NOT VISIBLE ON THE SURFACE OF THE LANDS SHOWN HEREON.
- CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT AND MAY HAVE BEEN ALTERED.

**REFERENCE PLANS:**

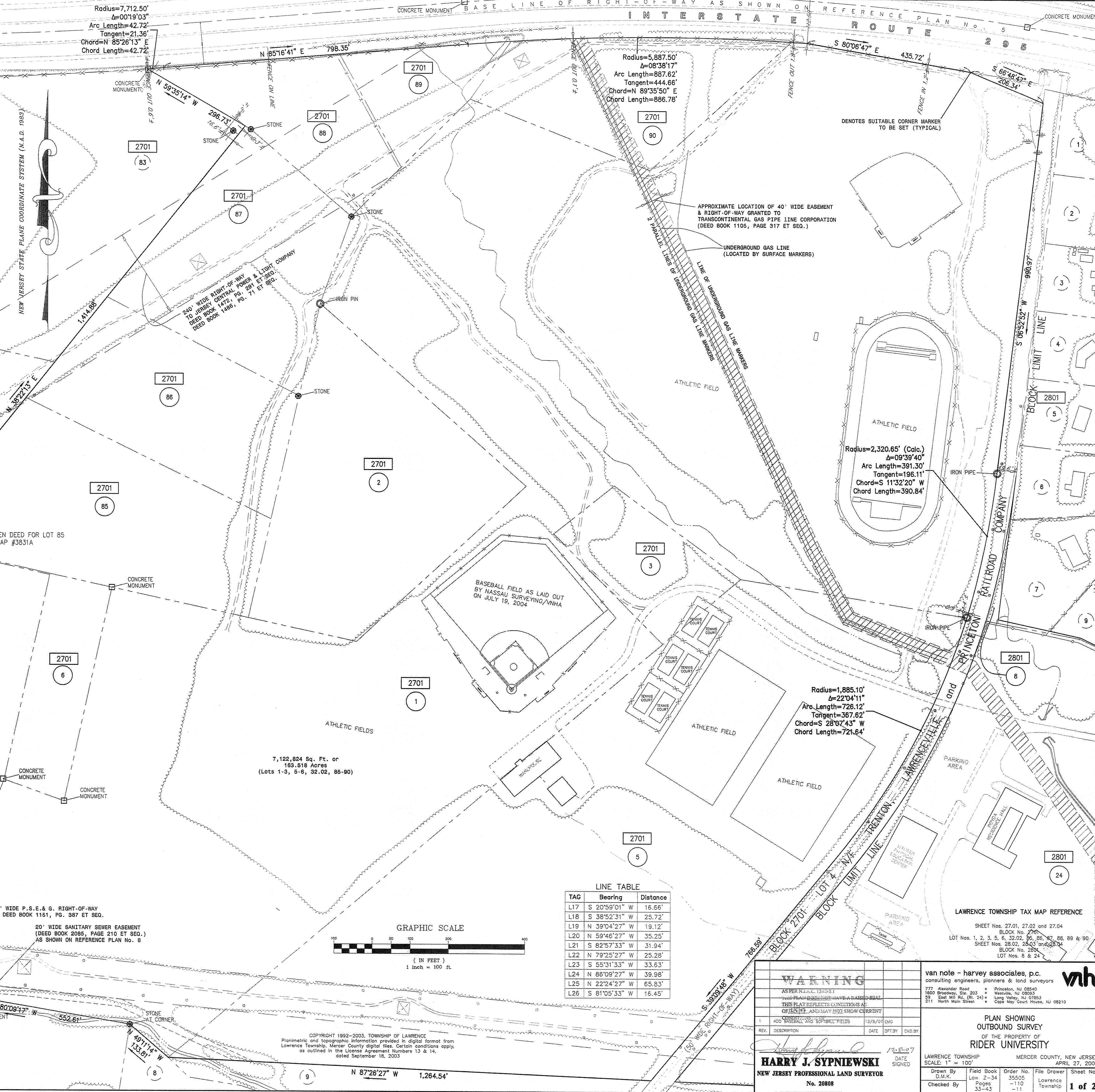
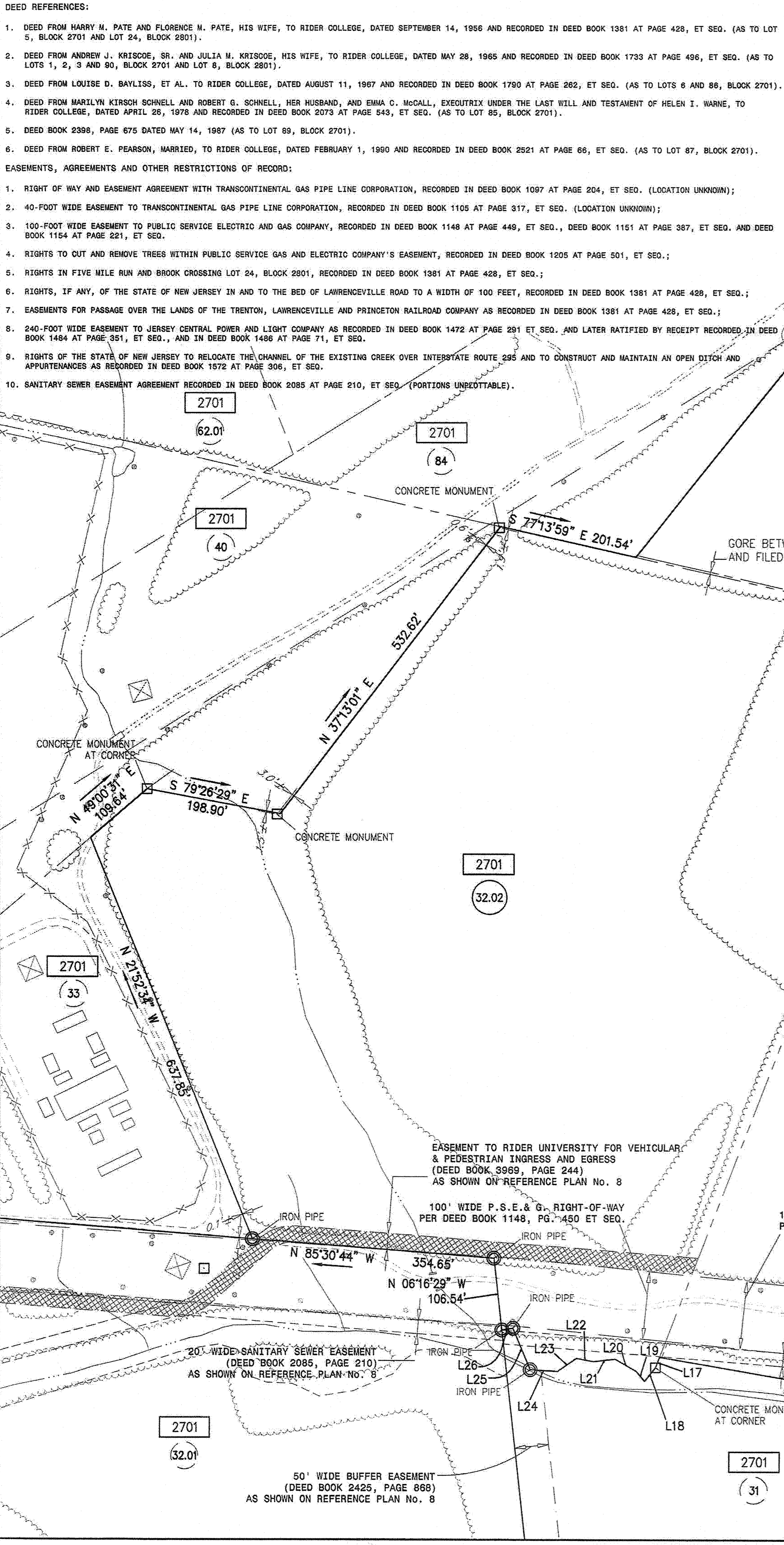
- "SECTION ONE, MAP OF SUBDIVISION OF LONGACRES, LAWRENCE TOWNSHIP, MERCER COUNTY, N.J., A.F. ROBERTSHAW, OWNER, SCALE 1"=100', FEBRUARY 1928", PREPARED BY TRENTON ENGINEERING CO. AND FILED IN THE MERCER COUNTY CLERK'S OFFICE ON FEBRUARY 27, 1928 AS MAP NO. 545.
- "REVISED MAP, SECTION ONE, MAP OF SUBDIVISION OF LONGACRES, LAWRENCE TOWNSHIP, MERCER COUNTY, N.J., LONGACRES, INC., OWNER, SCALE 1"=100', SEPTEMBER 1937", PREPARED BY TRENTON ENGINEERING CO. AND FILED IN THE MERCER COUNTY CLERK'S OFFICE ON OCTOBER 15, 1937 AS MAP NO. 4082.
- "PLAN OF LOTS FOR HARRY M. PATE, LAWRENCE TWP., MERCER CO., NJ", PREPARED BY LOUIS LEHMAN, L.T.O. NO. 5379, DATED OCTOBER 24, 1952 AND FILED IN THE MERCER COUNTY CLERK'S OFFICE ON MARCH 14, 1953 AS MAP NO. 905.
- "SECTION 2, LONGACRES, LAWRENCE TOWNSHIP, MERCER COUNTY, NJ, SCALE: 1"=100', COOPER 26, 1964", FILED IN THE MERCER COUNTY CLERK'S OFFICE ON JANUARY 11, 1965 AS MAP NO. 1750.
- "STATE OF NEW JERSEY DEPARTMENT OF TRANSPORTATION PLANS OF ROUTE 295 SECTION 98 FROM FEDERAL CITY ROAD TO WEST OF U.S. 1, GRADING PAVING AND STRUCTURES, TOWNSHIPS OF HOPEWELL AND LAWRENCE, MERCER COUNTY, SCALES AS INDICATED, JUNE 1975", SHEETS 31 THROUGH 53 OF 486, FEDERAL PROJECT NO. N.J. 1-295-2 (57) 88.
- "SURVEY OF PROPERTY OF RIDER COLLEGE, LAWRENCE TOWNSHIP, MERCER CO., N.J., SCALE: 1"=100', JANUARY 6, 1990", PREPARED BY MASSAU SURVEYING DIVISION OF VAN NOTE-HARVEY ASSOCIATES, LAND SURVEYORS, PRINCETON, NEW JERSEY, ORDER NO. 4-11.29290-11.
- "PLAN SHOWING EXTENT OF FRESHWATER WETLANDS FOR RIDER COLLEGE, LAWRENCE TWP., MERCER CO., N.J., SCALE: 1"=100', DATE: 3/9/90", SHEETS 1 AND 2, LAST REVISED ON AUGUST 4, 1991 AND PREPARED BY VAN NOTE-HARVEY ASSOCIATES, ORDER NO. 29210.
- "MINOR SUBDIVISION PLAN OF LOT 82, BLOCK 2701, SITUATE IN LAWRENCE TOWNSHIP, MERCER COUNTY, N.J., SCALE: 1"=50', DATE: 4/26/01, LAST REVISED ON AUGUST 14, 2002 AND PREPARED BY HOPEWELL VALLEY ENGINEERING, P.C., ENGINEERS, PLANNERS AND LAND SURVEYORS, JOB NO. 1107500A AND FILED IN THE MERCER COUNTY CLERK'S OFFICE ON OCTOBER 8, 2002 AS MAP NOS. 3551 AND 3551A.

**DEED REFERENCES:**

- DEED FROM HARRY M. PATE AND FLORENCE M. PATE, HIS WIFE, TO RIDER COLLEGE, DATED SEPTEMBER 14, 1956 AND RECORDED IN DEED BOOK 1381 AT PAGE 428, ET SEQ. (AS TO LOT 5, BLOCK 2701 AND LOT 24, BLOCK 2801).
- DEED FROM ANDREW J. KRISDOE, SR. AND JULIA M. KRISDOE, HIS WIFE, TO RIDER COLLEGE, DATED MAY 28, 1965 AND RECORDED IN DEED BOOK 1733 AT PAGE 436, ET SEQ. (AS TO LOTS 1, 2, 3 AND 90, BLOCK 2701 AND LOT 6, BLOCK 2801).
- DEED FROM LOUISE D. BAYLISS, ET AL. TO RIDER COLLEGE, DATED AUGUST 11, 1967 AND RECORDED IN DEED BOOK 1790 AT PAGE 262, ET SEQ. (AS TO LOTS 6 AND 88, BLOCK 2701).
- DEED FROM MARILYN KIRSH SNELL AND ROBERT G. SNELL, HER HUSBAND, AND EMMA C. McCALL, EXECUTRIX UNDER THE LAST WILL AND TESTAMENT OF HELEN I. WARNE, TO RIDER COLLEGE, DATED APRIL 26, 1978 AND RECORDED IN DEED BOOK 2073 AT PAGE 543, ET SEQ. (AS TO LOT 85, BLOCK 2701).
- DEED BOOK 2398, PAGE 675 DATED MAY 14, 1987 (AS TO LOT 85, BLOCK 2701).
- DEED FROM ROBERT E. PEARSON, MARRIED, TO RIDER COLLEGE, DATED FEBRUARY 1, 1990 AND RECORDED IN DEED BOOK 2321 AT PAGE 66, ET SEQ. (AS TO LOT 87, BLOCK 2701).

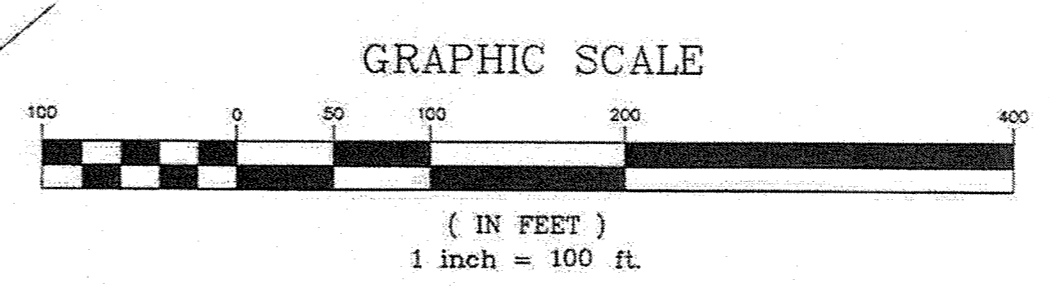
**EASEMENTS, AGREEMENTS AND OTHER RESTRICTIONS OF RECORD:**

- RIGHT OF WAY AND EASEMENT AGREEMENT WITH TRANSCONTINENTAL GAS PIPE LINE CORPORATION, RECORDED IN DEED BOOK 1097 AT PAGE 204, ET SEQ. (LOCATION UNKNOWN);
- 40-FOOT WIDE EASEMENT TO TRANSCONTINENTAL GAS PIPE LINE CORPORATION, RECORDED IN DEED BOOK 1105 AT PAGE 317, ET SEQ. (LOCATION UNKNOWN);
- 100-FOOT WIDE EASEMENT TO PUBLIC SERVICE ELECTRIC AND GAS COMPANY, RECORDED IN DEED BOOK 1148 AT PAGE 449, ET SEQ., DEED BOOK 1151 AT PAGE 387, ET SEQ. AND DEED BOOK 1154 AT PAGE 221, ET SEQ.
- RIGHTS TO CUT AND REMOVE TREES WITHIN PUBLIC SERVICE GAS AND ELECTRIC COMPANY'S EASEMENT, RECORDED IN DEED BOOK 1205 AT PAGE 501, ET SEQ.;
- RIGHTS IN FIVE MILE RUN AND BROOK CROSSING LOT 24, BLOCK 2801, RECORDED IN DEED BOOK 1351 AT PAGE 428, ET SEQ.;
- RIGHTS, IF ANY, OF THE STATE OF NEW JERSEY IN AND TO THE BED OF LAWRENCEVILLE ROAD TO A WIDTH OF 100 FEET, RECORDED IN DEED BOOK 1381 AT PAGE 428, ET SEQ.;
- EASEMENTS FOR PASSAGE OVER THE LANDS OF THE TRENTON, LAWRENCEVILLE AND PRINCETON RAILROAD COMPANY AS RECORDED IN DEED BOOK 1381 AT PAGE 428, ET SEQ.;
- 240-FOOT WIDE EASEMENT TO JERSEY CENTRAL POWER AND LIGHT COMPANY AS RECORDED IN DEED BOOK 1472 AT PAGE 291 ET SEQ. AND LATER RATIFIED BY RECEIPT RECORDED IN DEED BOOK 1464 AT PAGE 351, ET SEQ., AND IN DEED BOOK 1486 AT PAGE 71, ET SEQ.
- RIGHTS OF THE STATE OF NEW JERSEY TO RELOCATE THE CHANNEL OF THE EXISTING CREEK OVER INTERSTATE ROUTE 295 AND TO CONSTRUCT AND MAINTAIN AN OPEN DITCH AND APURTANCES AS RECORDED IN DEED BOOK 1572 AT PAGE 309, ET SEQ.
- SANITARY SEWER EASEMENT AGREEMENT RECORDED IN DEED BOOK 2085 AT PAGE 210, ET SEQ. (PORTIONS UNRECORDED).



**LINE TABLE**

TAG	Bearing	Distance
L17	S 20°59'01" W	16.66'
L18	S 38°52'31" W	25.72'
L19	N 39°04'27" W	19.12'
L20	N 59°46'27" W	35.25'
L21	S 82°57'33" W	31.94'
L22	N 79°25'27" W	25.28'
L23	S 55°31'33" W	33.63'
L24	N 86°09'27" W	39.98'
L25	N 22°24'27" W	65.83'
L26	S 81°05'33" W	18.45'



**WARNING**

AS PER N.J.A.C. 17:27, THIS PLAN SHOWING OUTBOUND SURVEY OF THE PROPERTY OF RIDER UNIVERSITY HAS BEEN PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND THEREFORE MAY NOT INDICATE ALL EXISTING ENCUMBRANCES ON THE PROPERTY DELINEATED HEREON. THIS SURVEY IS SUBJECT TO THE TERMS OF A COMPLETE AND ACCURATE TITLE REPORT FOR THE PROPERTY DELINEATED HEREON AND FOR ALL ADJOINING PROPERTIES.

**HARRY J. SYPNIEWSKI**  
NEW JERSEY PROFESSIONAL LAND SURVEYOR  
No. 20808

DATE SIGNED: APRIL 27, 2004

**van note - harvey associates, p.c.**  
consulting engineers, planners & land surveyors  
777 Alexander Road • Princeton, NJ 08540  
1800 Broadway, Ste. 203 • Westfield, NJ 08993  
89 East Mill Rd. (Rt. 24) • Long Valley, NJ 07833  
North Main Street • Cook Mill South House, NJ 08210

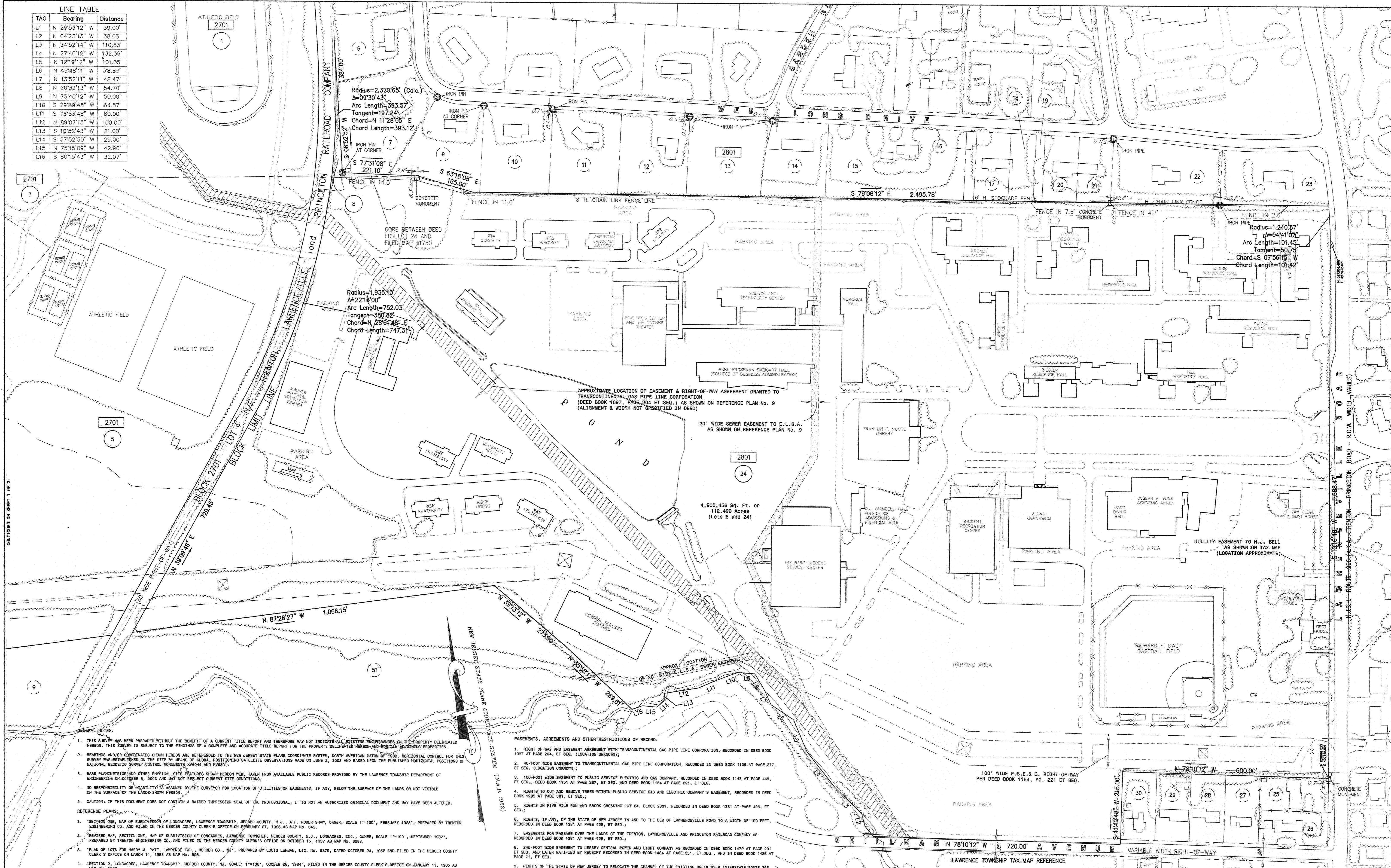
**PLAN SHOWING OUTBOUND SURVEY OF THE PROPERTY OF RIDER UNIVERSITY**

LAWRENCE TOWNSHIP, MERCER COUNTY, NEW JERSEY  
SCALE: 1" = 100'  
Drawn By: D.M.K. Field Book: 35505 Order No.: 35505 File Drawer: 110 Sheet No.: 1 of 2  
Checked By: 33-43 Pages: 11 Township: Lawrence

SHEET Nos. 27.01, 27.02 and 27.04  
BLOCK No. 2701  
LOT Nos. 1, 2, 3, 5, 6, 32.02, 55, 86, 87, 88, 89 & 90  
SHEET Nos. 28.02, 28.03 and 28.04  
BLOCK No. 2801  
LOT Nos. 8 & 24

CONTINUED ON SHEET 28 OF 2

TAG	Bearing	Distance
L1	N 29°53'12" W	39.00'
L2	N 04°23'13" W	38.03'
L3	N 34°52'14" W	110.83'
L4	N 27°40'12" W	132.36'
L5	N 12°19'12" W	101.35'
L6	N 45°48'11" W	78.83'
L7	N 13°52'11" W	48.47'
L8	N 20°32'13" W	54.70'
L9	N 75°45'12" W	50.00'
L10	S 79°39'48" W	64.57'
L11	S 76°53'48" W	60.00'
L12	N 89°07'13" W	100.00'
L13	S 10°52'43" W	21.00'
L14	S 57°52'50" W	29.00'
L15	N 75°15'09" W	42.90'
L16	S 60°15'43" W	32.07'



CONTINUED ON SHEET 1 OF 2

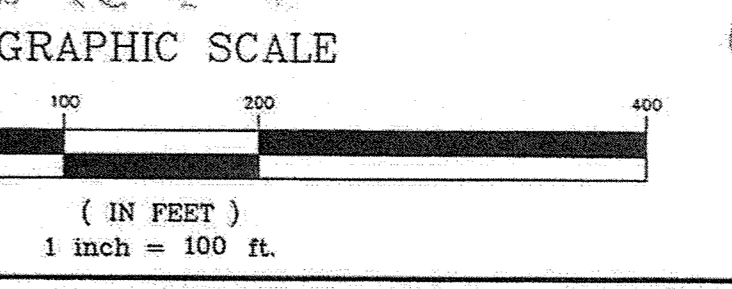
- GENERAL NOTES:**
- THIS SURVEY HAS BEEN PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND THEREFORE MAY NOT INDICATE ALL EXISTING ENCUMBRANCES ON THE PROPERTY DELINEATED HEREON. THIS SURVEY IS SUBJECT TO THE FINDINGS OF A COMPLETE AND ACCURATE TITLE REPORT FOR THE PROPERTY DELINEATED HEREON AND FOR ALL ADJOINING PROPERTIES.
  - BEARINGS AND/OR COORDINATES SHOWN HEREON ARE REFERENCED TO THE NEW JERSEY STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983. HORIZONTAL CONTROL FOR THIS SURVEY WAS ESTABLISHED ON THE SITE BY MEANS OF GLOBAL POSITIONING SATELLITE OBSERVATIONS MADE ON JUNE 2, 2003 AND BASED UPON THE PUBLISHED HORIZONTAL POSITIONS OF NATIONAL GEODETIC SURVEY CONTROL MONUMENTS KV6044 AND KV6901.
  - BASE PLANIMETRIC AND OTHER PHYSICAL SITE FEATURES SHOWN HEREON WERE TAKEN FROM AVAILABLE PUBLIC RECORDS PROVIDED BY THE LAWRENCE TOWNSHIP DEPARTMENT OF ENGINEERING ON OCTOBER 9, 2003 AND MAY NOT REFLECT CURRENT SITE CONDITIONS.
  - NO RESPONSIBILITY ON LIABILITY IS ASSUMED BY THE SURVEYOR FOR LOCATION OF UTILITIES OR EASEMENTS, IF ANY, BELOW THE SURFACE OF THE LANDS OR NOT VISIBLE ON THE SURFACE OF THE LANDS HEREON.
  - CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT AND MAY HAVE BEEN ALTERED.
- REFERENCE PLANS:**
- "SECTION ONE, MAP OF SUBDIVISION OF LONGACRES, LAWRENCE TOWNSHIP, MERCER COUNTY, N.J., A.F. ROBERTSHAW, OWNER, SCALE 1"=100', FEBRUARY 1928", PREPARED BY TRENTON ENGINEERING CO. AND FILED IN THE MERCER COUNTY CLERK'S OFFICE ON FEBRUARY 27, 1928 AS MAP NO. 546.
  - "REVISED MAP, SECTION ONE, MAP OF SUBDIVISION OF LONGACRES, LAWRENCE TOWNSHIP, MERCER COUNTY, N.J., LONGACRES, INC., OWNER, SCALE 1"=100', SEPTEMBER 1937", PREPARED BY TRENTON ENGINEERING CO. AND FILED IN THE MERCER COUNTY CLERK'S OFFICE ON OCTOBER 15, 1937 AS MAP NO. 608.
  - "PLAN OF LOTS FOR HARRY M. PATE, LAWRENCE TWP., MERCER CO., N.J.", PREPARED BY LOUIS LEHMAN, L.L.C. NO. 5378, DATED OCTOBER 24, 1952 AND FILED IN THE MERCER COUNTY CLERK'S OFFICE ON MARCH 14, 1953 AS MAP NO. 505.
  - "SECTION 2, LONGACRES, LAWRENCE TOWNSHIP, MERCER COUNTY, N.J., SCALE: 1"=100', OCTOBER 26, 1964", FILED IN THE MERCER COUNTY CLERK'S OFFICE ON JANUARY 11, 1965 AS MAP NO. 1760.
  - "STATE OF NEW JERSEY DEPARTMENT OF TRANSPORTATION PLANS OF ROUTE 205 SECTION 98 FROM FEDERAL CITY ROAD TO WEST OF U.S. 1, GRADING PAVING AND STRUCTURES, TOWNSHIPS OF HOPWELL AND LAWRENCE, MERCER COUNTY, SCALES AS INDICATED, JUNE 1975", SHEETS 31 THROUGH 53 OF 498, FEDERAL PROJECT NO. N.J. I-289-2-(57) 68.
  - "SURVEY OF PROPERTY OF RIDER COLLEGE, LAWRENCE TWP., MERCER CO., N.J., SCALE: 1"=100', JANUARY 8, 1990", PREPARED BY NASSAU SURVEYING DIVISION OF VAN NOTE-HARVEY ASSOCIATES, LAND SURVEYORS, PRINCETON, NEW JERSEY, ORDER NO. 4.11.29290-11.
  - "PLAN SHOWING EXTENT OF FRESHWATER WETLANDS FOR RIDER COLLEGE, LAWRENCE TWP., MERCER CO., N.J., SCALE: 1"=100', DATE: 3/9/1990, SHEETS 1 AND 2, LAST REVISED ON AUGUST 9, 1991 AND PREPARED BY VAN NOTE-HARVEY ASSOCIATES, ORDER NO. 29210.
  - "MINOR SUBDIVISION PLAN OF LOT 32, BLOCK 2701, SITUATE IN LAWRENCE TOWNSHIP, MERCER COUNTY, N.J., SCALE: 1"=50', DATE: 4/26/01, LAST REVISED ON AUGUST 14, 2002 AND PREPARED BY HOFFER & VALLI BY ENGINEERING, P.C., ENGINEERS, PLANNERS AND LAND SURVEYORS, JOB NO. 110750A AND FILED IN THE MERCER COUNTY CLERK'S OFFICE ON OCTOBER 8, 2002 AS MAP NOS. 3831 AND 3831A.
  - "PLAN OF 20 FEET WIDE EASEMENT ON LANDS OF RIDER COLLEGE FOR EWING-LAWRENCE SEWERAGE AUTHORITY, LAWRENCE TOWNSHIP, MERCER COUNTY, NEW JERSEY", PREPARED BY PETER E. PRANTIS, PROFESSIONAL ENGINEER & LAND SURVEYOR, DATED NOVEMBER 1998.

- EASEMENTS, AGREEMENTS AND OTHER RESTRICTIONS OF RECORD:**
- RIGHT OF WAY AND EASEMENT AGREEMENT WITH TRANSCONTINENTAL GAS PIPE LINE CORPORATION, RECORDED IN DEED BOOK 1097 AT PAGE 204, ET SEQ. (LOCATION UNKNOWN);
  - 40-FOOT WIDE EASEMENT TO TRANSCONTINENTAL GAS PIPE LINE CORPORATION, RECORDED IN DEED BOOK 1105 AT PAGE 317, ET SEQ. (LOCATION UNKNOWN);
  - 100-FOOT WIDE EASEMENT TO PUBLIC SERVICE ELECTRIC AND GAS COMPANY, RECORDED IN DEED BOOK 1148 AT PAGE 449, ET SEQ., DEED BOOK 1161 AT PAGE 387, ET SEQ. AND DEED BOOK 1164 AT PAGE 221, ET SEQ. (LOCATION UNKNOWN);
  - RIGHTS TO CUT AND REMOVE TREES WITHIN PUBLIC SERVICE GAS AND ELECTRIC COMPANY'S EASEMENT, RECORDED IN DEED BOOK 1205 AT PAGE 501, ET SEQ.;
  - RIGHTS IN FIVE MILE RUN AND BROOK CROSSING LOT 24, BLOCK 2801, RECORDED IN DEED BOOK 1381 AT PAGE 428, ET SEQ.;
  - RIGHTS, IF ANY, OF THE STATE OF NEW JERSEY IN AND TO THE BED OF LAWRENCEVILLE ROAD TO A WIDTH OF 100 FEET, RECORDED IN DEED BOOK 1381 AT PAGE 428, ET SEQ.;
  - EASEMENTS FOR PASSAGE OVER THE LANDS OF THE TRENTON, LAWRENCEVILLE AND PRINCETON RAILROAD COMPANY AS RECORDED IN DEED BOOK 1381 AT PAGE 428, ET SEQ.;
  - 240-FOOT WIDE EASEMENT TO JERSEY CENTRAL POWER AND LIGHT COMPANY AS RECORDED IN DEED BOOK 1472 AT PAGE 391 ET SEQ. AND LATER RATIFIED BY RECEIPT RECORDED IN DEED BOOK 1484 AT PAGE 351, ET SEQ., AND IN DEED BOOK 1486 AT PAGE 71, ET SEQ.;
  - RIGHTS OF THE STATE OF NEW JERSEY TO RELOCATE THE CHANNEL OF THE EXISTING CREEK OVER INTERSTATE ROUTE 295 AND TO CONSTRUCT AND MAINTAIN AN OPEN DITCH AND APPURTENANCES AS RECORDED IN DEED BOOK 1572 AT PAGE 306, ET SEQ.;
  - SANITARY SEWER EASEMENT AGREEMENT RECORDED IN DEED BOOK 2085 AT PAGE 210, ET SEQ. (PORTIONS UNPLOTTABLE).

- DEED REFERENCES:**
- DEED FROM HARRY M. PATE AND FLORENCE M. PATE, HIS WIFE, TO RIDER COLLEGE, DATED SEPTEMBER 14, 1958 AND RECORDED IN DEED BOOK 1381 AT PAGE 428, ET SEQ. (AS TO LOT 5, BLOCK 2701 AND LOT 24, BLOCK 2801).
  - DEED FROM ANDREW J. KRISCOE, SR. AND JULIA M. KRISCOE, HIS WIFE, TO RIDER COLLEGE, DATED MAY 28, 1965 AND RECORDED IN DEED BOOK 1733 AT PAGE 489, ET SEQ. (AS TO LOTS 1, 2, 3 AND 96, BLOCK 2701 AND LOT 8, BLOCK 2801).
  - DEED FROM LOUISE D. BAYLISS, ET AL. TO RIDER COLLEGE, DATED AUGUST 11, 1967 AND RECORDED IN DEED BOOK 1790 AT PAGE 282, ET SEQ. (AS TO LOTS 6 AND 85, BLOCK 2701).
  - DEED FROM MARLYN KRISHON SCHNELL AND ROBERT G. SCHNELL, HER HUSBAND, AND EMMA C. MULLALL, EXECUTRIX UNDER THE LAST WILL AND TESTAMENT OF HELEN I. WARNE, TO RIDER COLLEGE, DATED APRIL 26, 1978 AND RECORDED IN DEED BOOK 2073 AT PAGE 543, ET SEQ. (AS TO LOT 85, BLOCK 2701).
  - DEED BOOK 2368, PAGE 675 DATED MAY 14, 1987 (AS TO LOT 89, BLOCK 2701).
  - DEED FROM ROBERT E. PEARSON, MARRIED, TO RIDER COLLEGE, DATED FEBRUARY 1, 1990 AND RECORDED IN DEED BOOK 2621 AT PAGE 66, ET SEQ. (AS TO LOT 87, BLOCK 2701).

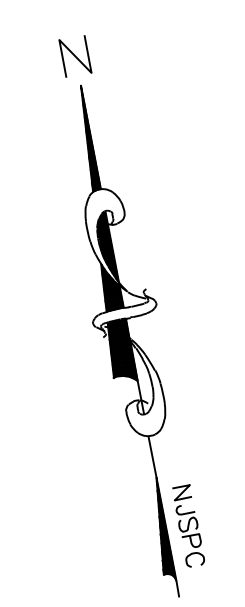
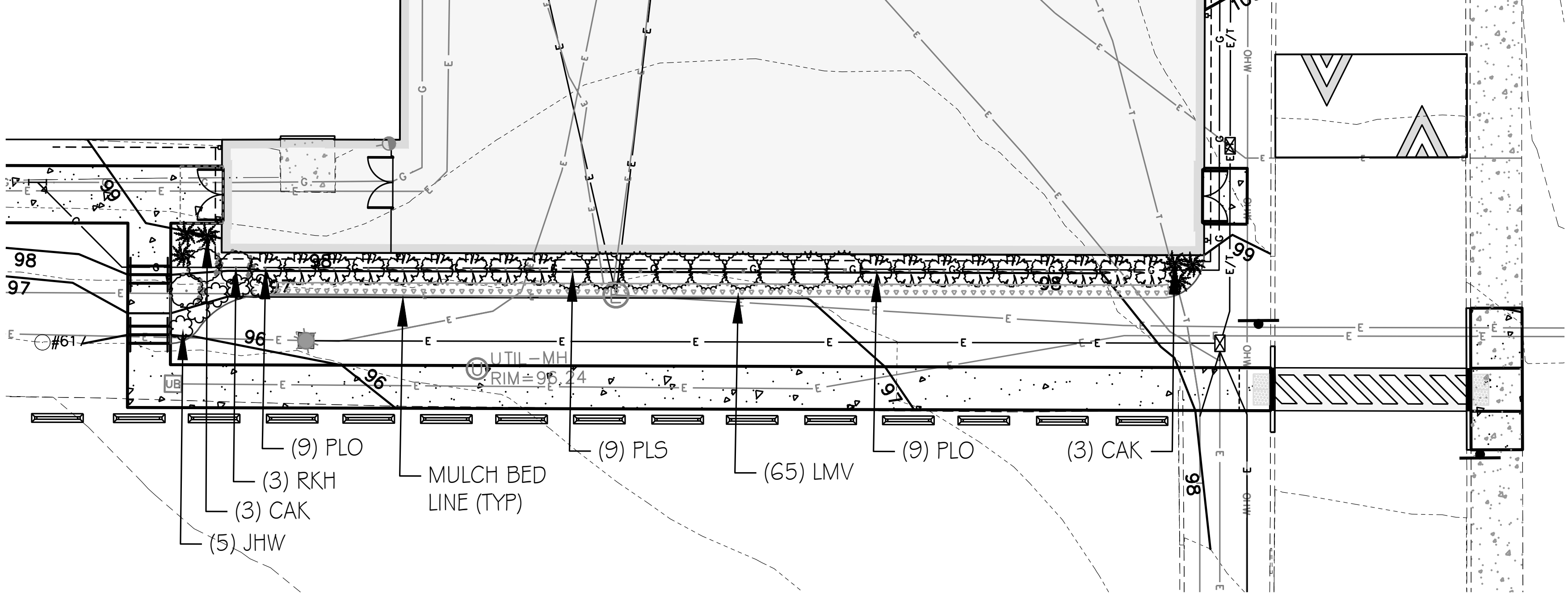
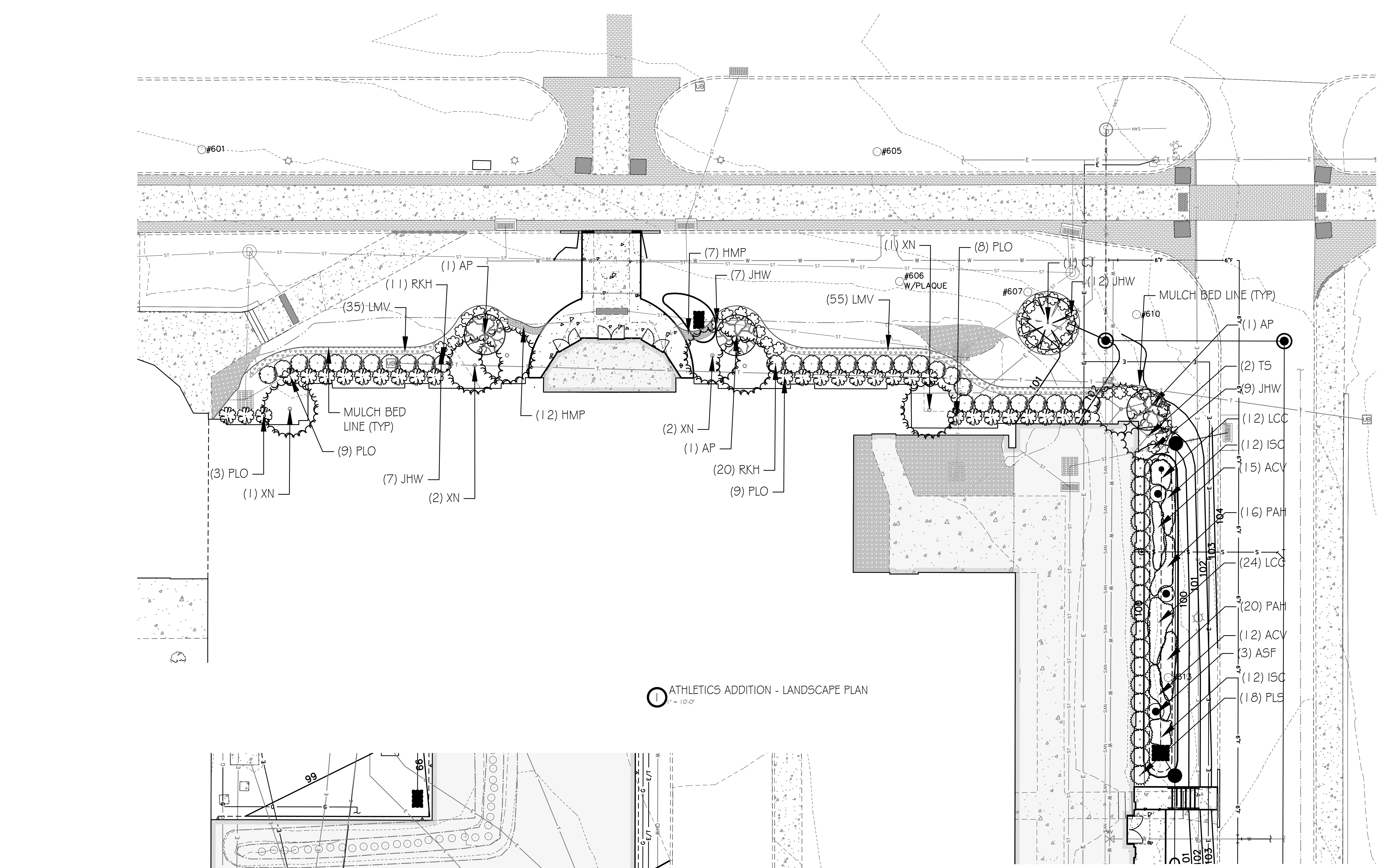
LAWRENCE TOWNSHIP TAX MAP REFERENCE

SHEET Nos. 27.01, 27.02 and 27.04  
BLOCK No. 2701  
LOT Nos. 1, 2, 3, 5, 6, 32.02, 85, 86, 87, 88, 89 & 90  
SHEET Nos. 28.02, 28.03 and 28.04  
BLOCK No. 2801  
LOT Nos. 9-24



<b>WARNING</b>		van note - harvey associates, p.c. consulting engineers, planners & land surveyors 777 Alexander Road • Princeton, NJ 08540 1620 Broadway, Ste. 203 • Westville, NJ 08093 59 East Mill Rd. (Rt. 24) • Long Valley, NJ 07833 211 North Main Street • Cape May Court House, NJ 08210	
AS PER N.J.A.C. 17:28.9 THIS PLAN DOES NOT HAVE A RAISED SEAL. THIS PLAN REFLECTS CONDITIONS AS OF 12/25/07. ANY CHANGES TO THESE CONDITIONS WILL BE SHOWN AS AMENDMENTS.			
1. ADD BASEBALL AND SOFTBALL FIELDS REV. DESCRIPTION DATE 12/25/07 ENG.	DATE 12/25/07 SIGNED <b>HARRY J. SYPNIEWSKI</b> NEW JERSEY PROFESSIONAL LAND SURVEYOR No. 28688	<b>PLAN SHOWING OUTBOUND SURVEY OF THE PROPERTY OF RIDER UNIVERSITY</b> LAWRENCE TOWNSHIP, MERCER COUNTY, NEW JERSEY SCALE: 1" = 100' APRIL 27, 2004	Drawn By: D.M.K. Field Book: 35505 Low: 2-34 Pages: 110 Checked By: 33-43 Order No.: 11 File Drawer: 2 Sheet No.: <b>2 of 2</b>

3"=1'-0"  
1 1/2"=1'-0"  
1"=1'-0"  
3/4"=1'-0"  
1/2"=1'-0"  
1/4"=1'-0"  
1/8"=1'-0"



CODE REVIEW:

CERTIFICATE:



SPEIZLE ARCHITECTURAL GROUP INC.  
1395 YARDVILLE HAMILTON SQUARE ROAD  
SUITE 2A  
HAMILTON, NJ 08691  
PHONE: 609-695-7400

SIGNATURE:  
THOMAS E. SPEIZLE 2160105600  
SCOTT E. DOVINE 2160107400  
STEVEN D. LORINE 2160111500  
STEVEN G. SIEDEL 2160106400  
ANGELA A. BIRCH 2160106200  
JOHN V. WRIGHT 2160106100  
SPEIZLE ARCHITECTURAL GROUP, INC. 2160006300

SEAL:  
*[Signature]*

CONSULTANTS:

PLANNING BOARD DRAWING SET

PROJECT:  
ADDITIONS AND RENOVATIONS TO ALUMNI GYM AND STRENGTH AND CONDITIONING CENTER

FOR:  
RIDER UNIVERSITY

2083 LAWRENCEVILLE ROAD,  
LAWRENCEVILLE, NJ, 08648

FOR CODE REVIEW: 9/17/21

REVISIONS:	REVISION NAME	DATE

FOR BID: DDMMYYYY

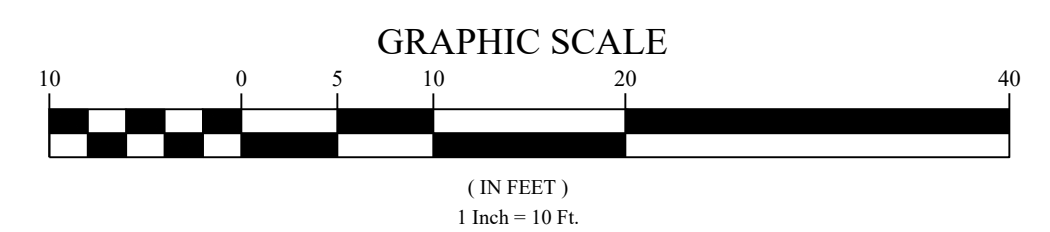
DRAWING TITLE:

LANDSCAPE PLAN

COMMISSION NUMBER: 21U011

AGENCY NUMBER: ### #### #  
DO NOT SCALE THE DRAWINGS

DRAWING NUMBER: L0.1









SPEZLE ARCHITECTURAL GROUP INC.  
1395 YARDVILLE HAMILTON SQUARE ROAD  
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SCOTT E. DOWNE 2140105405  
STEVEN LEONE 2140107102  
STEPHEN SEIGEL 2140105402  
ANGELA ALBERTO 2140104702  
JOHN F. WROCH 2140105400  
SPEZLE ARCHITECTURAL GROUP, INC. 2140200300

SEAL:

CONSULTANTS:

PLANNING BOARD  
SUBMISSION 9/17/21

PROJECT:  
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FOR BID:

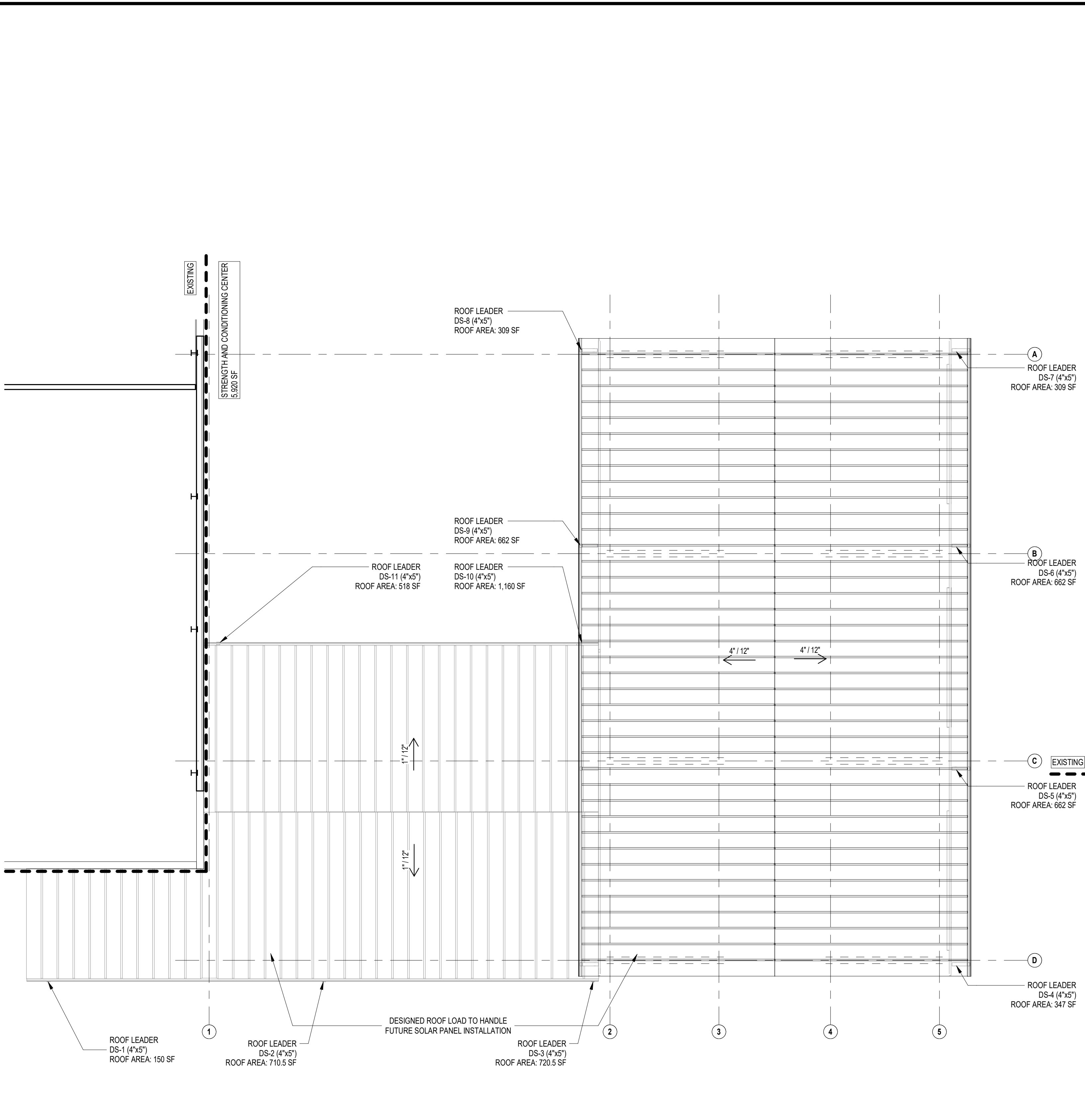
DRAWING TITLE:  
WEIGHT ROOM FLOOR  
PLAN

COMMISSION NUMBER:  
21U011  
AGENCY NUMBER:

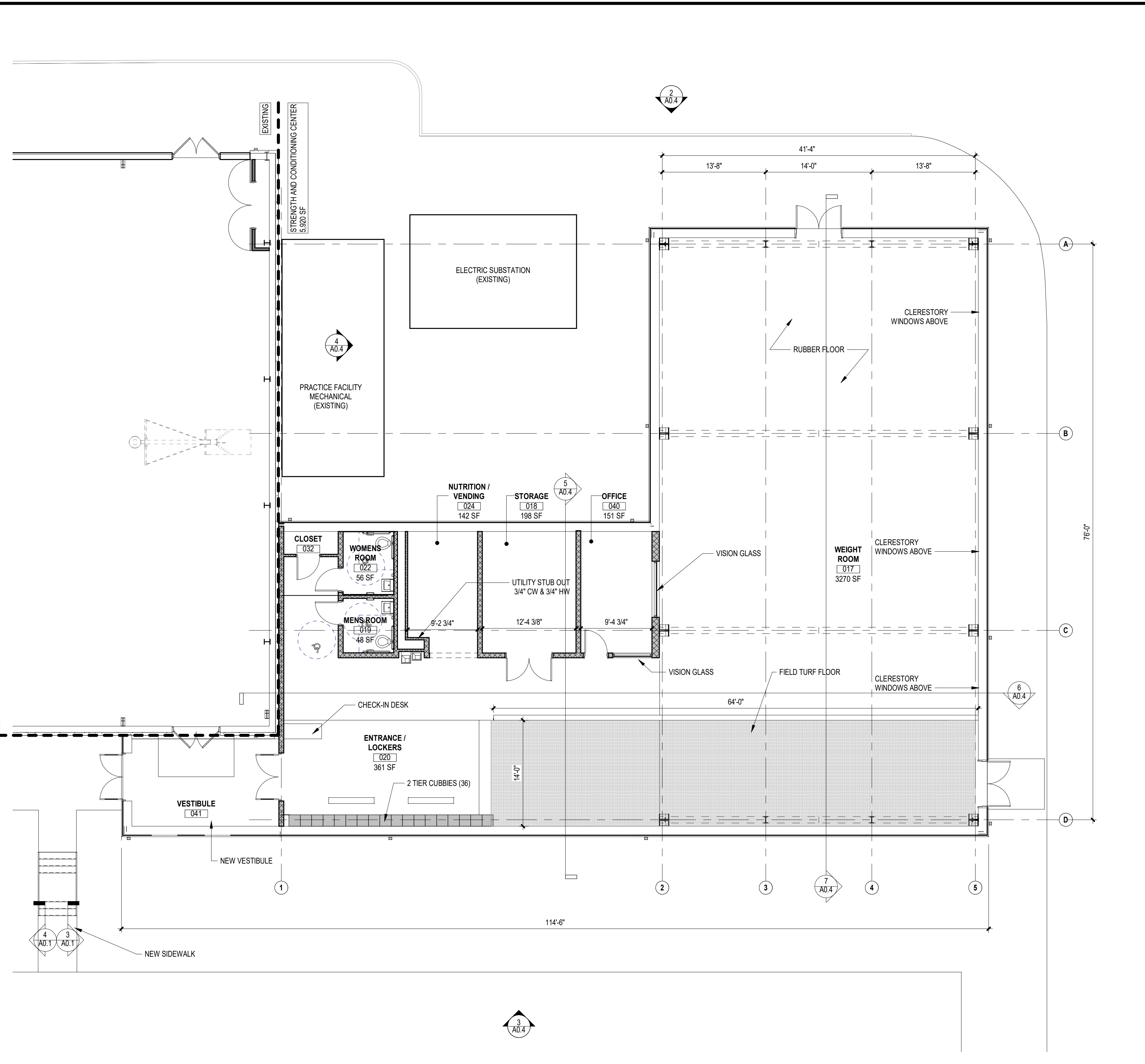
DO NOT SCALE THE DRAWINGS

DRAWING NUMBER:  
A0.1

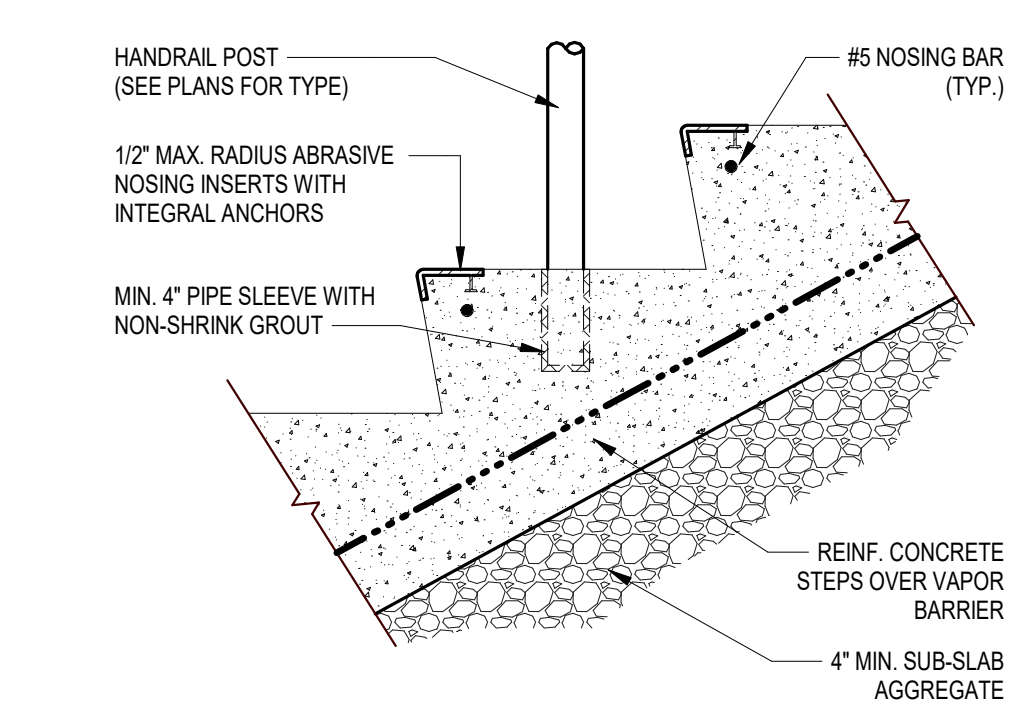
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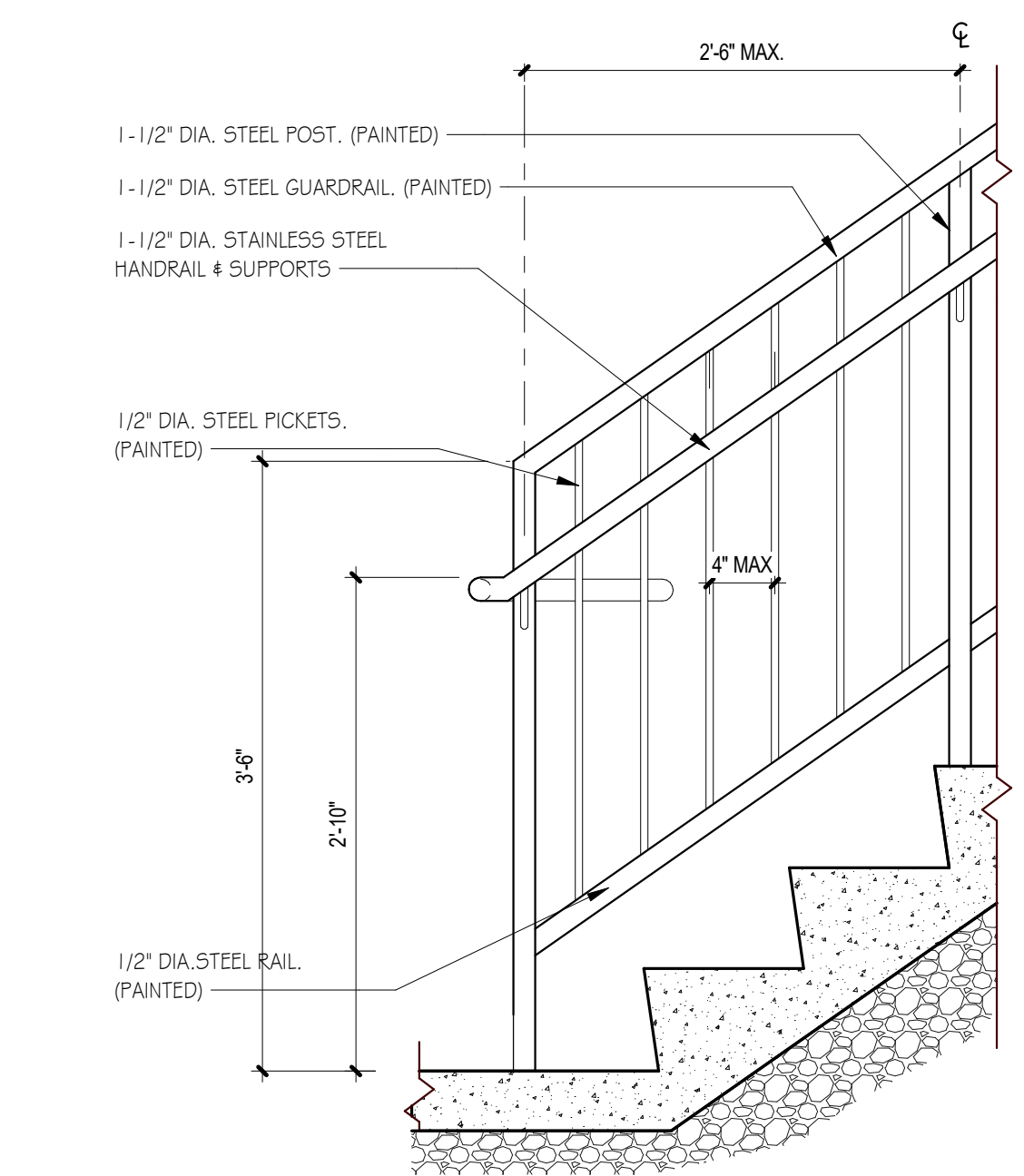
**2 ROOF PLAN**  
1/8" = 1'-0"



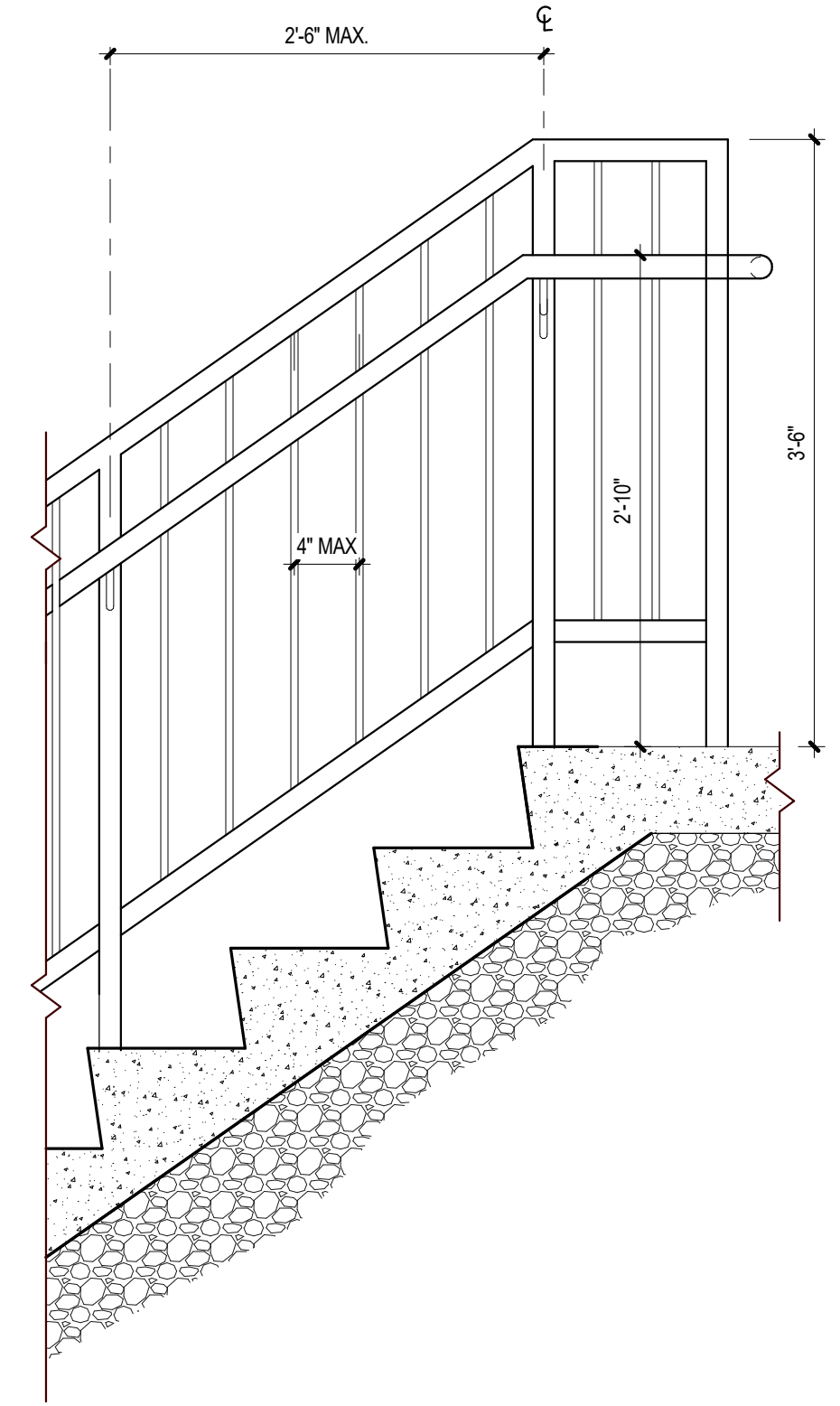
**1 FIRST FLOOR PLAN**  
1/8" = 1'-0"



**3 E-EXTERIOR STAIR TREAD DETAIL**  
1 1/2" = 1'-0"



**4 TYP GUARDRAIL DETAIL AT BASE LANDING**  
1" = 1'-0"



**KEY PLAN**  
1/64" = 1'-0"

1" = 1'-0"  
3/4" = 1'-0"  
1/2" = 1'-0"  
3/8" = 1'-0"  
1/4" = 1'-0"  
3/16" = 1'-0"  
1/8" = 1'-0"  
1/16" = 1'-0"



SPIZLE ARCHITECTURAL GROUP INC.  
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STEVEN LEONE 2140110102  
STEPHEN BEGEL 2140105400  
ANGELA ALBERTO 2140104702  
JOHN F. WISCH 2140110400  
SPIZLE ARCHITECTURAL GROUP, INC. 2140200300

SEAL:

CONSULTANTS:

PLANNING BOARD  
SUBMISSION 9/17/21

PROJECT:  
ADDITIONS AND  
RENOVATIONS TO ALUMNI  
GYM AND STRENGTH AND  
CONDITIONING CENTER

FOR  
RIDER UNIVERSITY

2083 LAWRENCEVILLE ROAD,  
LAWRENCEVILLE, NJ, 08648

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DRAWING TITLE:

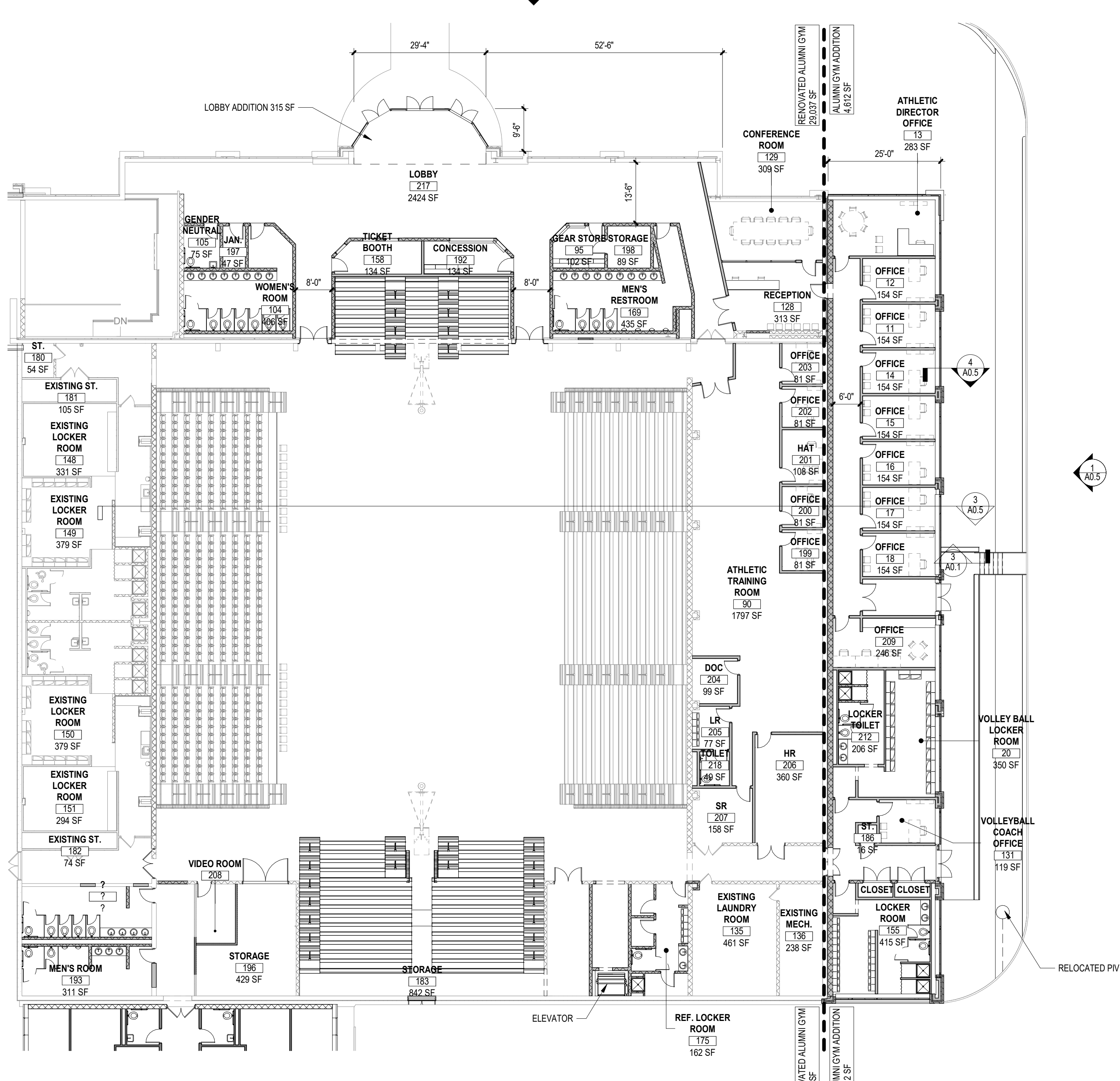
ALUMNI GYM FLOOR  
PLANS

COMMISSION NUMBER:  
21U011  
AGENCY NUMBER:

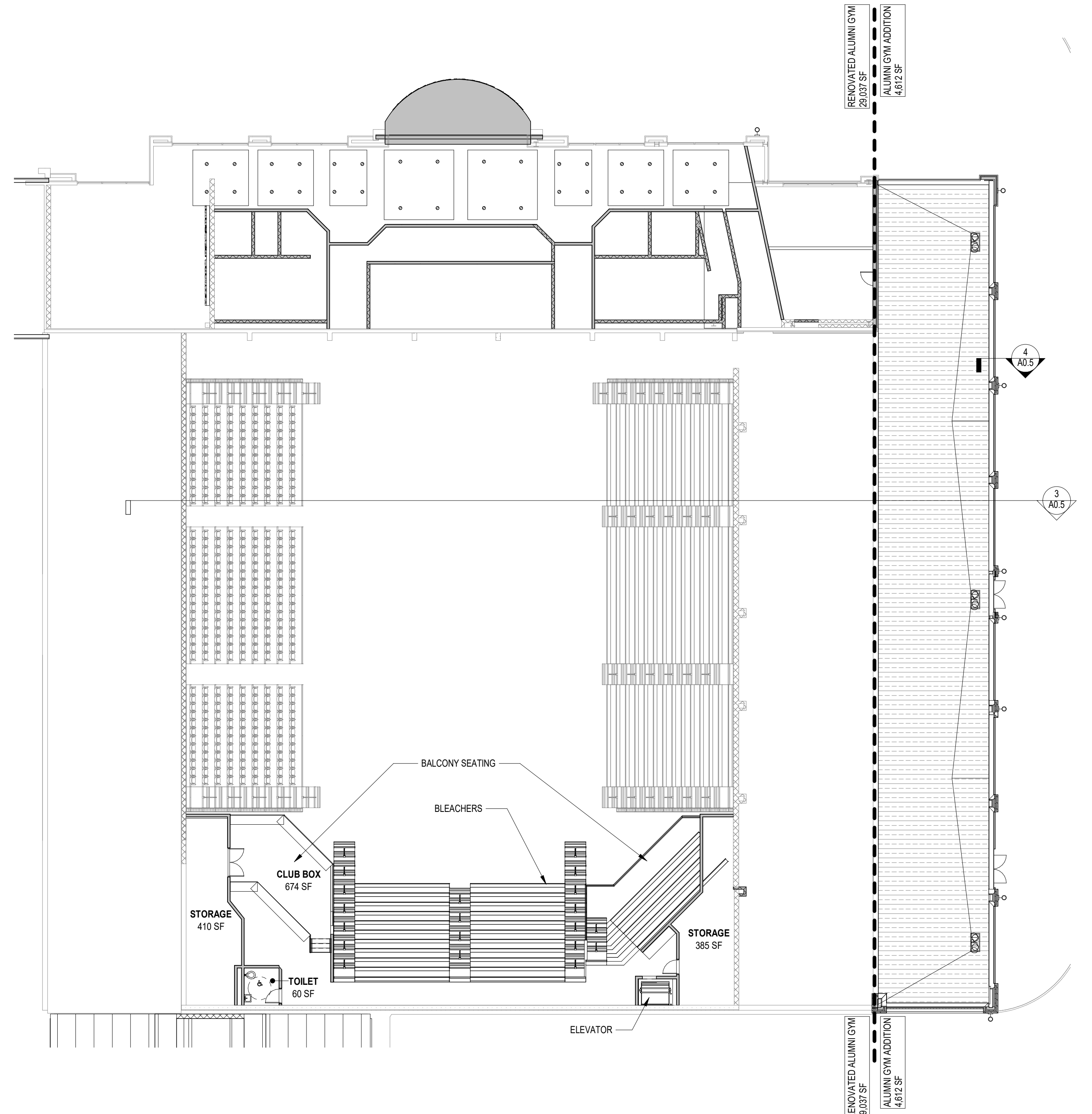
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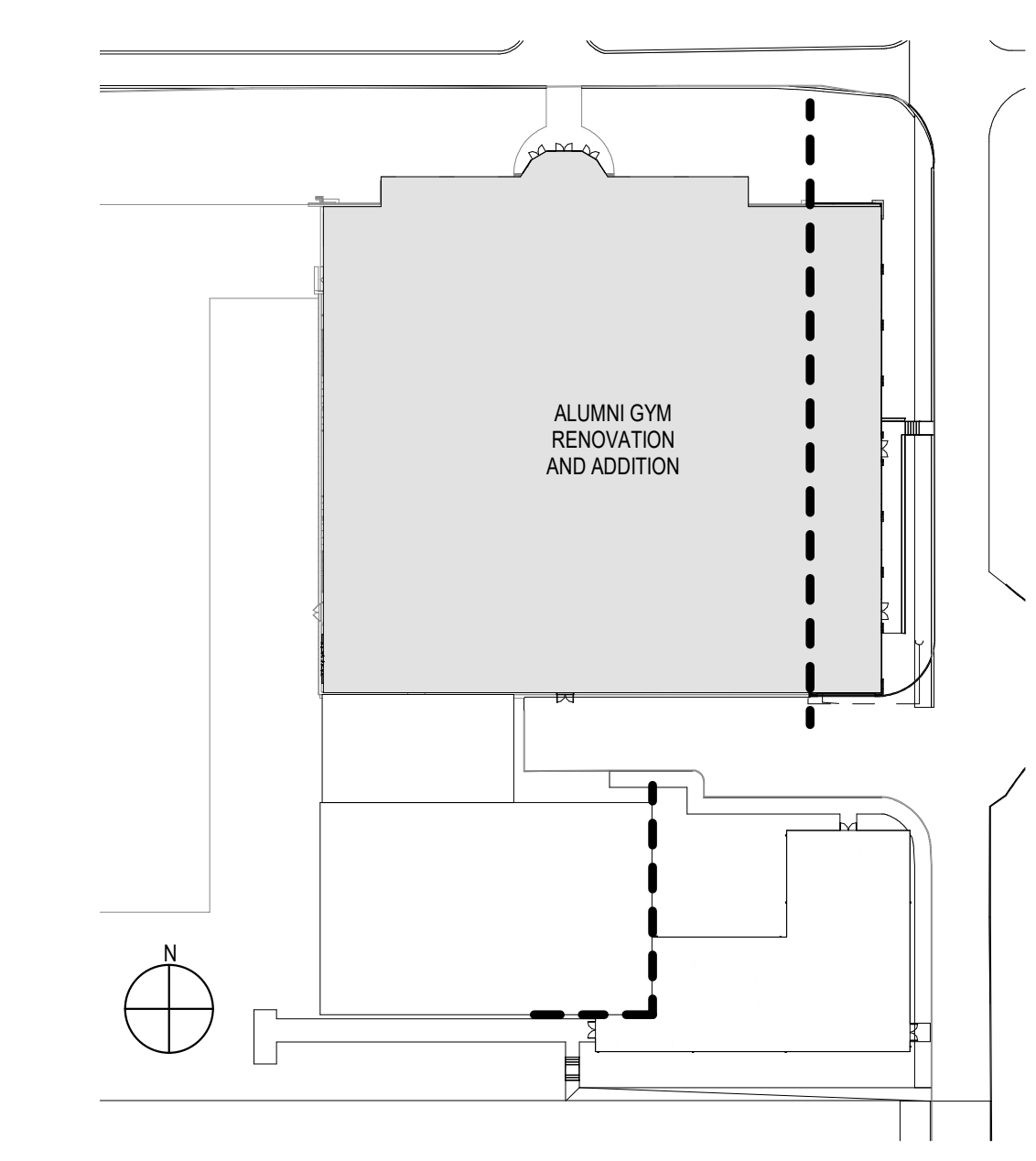
THIS DRAWING IS FORMATTED TO BE PRINTED AT 30"x42"



1 FIRST FLOOR PLAN  
1/16" = 1'-0"



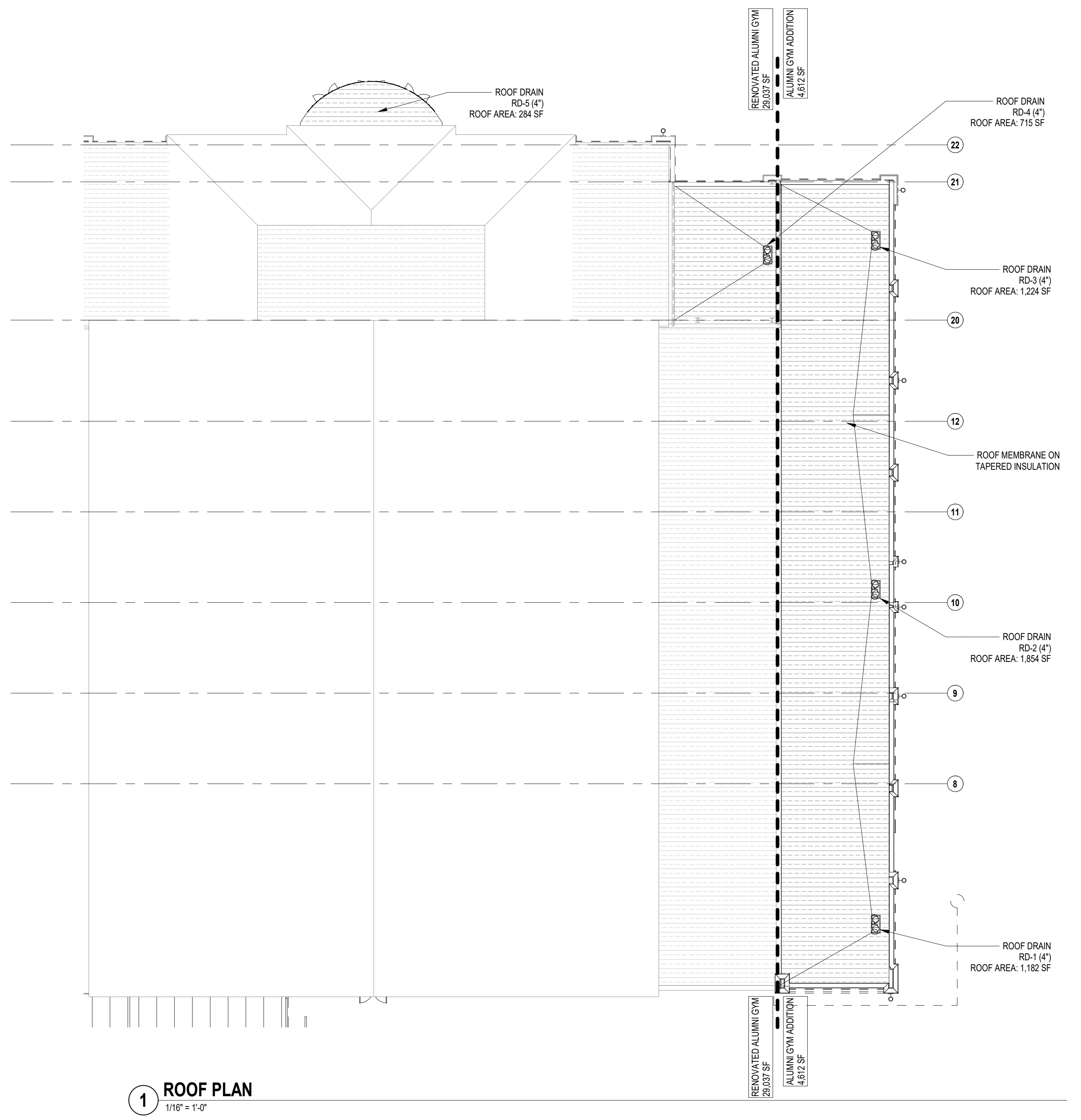
2 BLEACHER MEZZANINE PLAN  
1/16" = 1'-0"



3 KEY PLAN  
3/64" = 1'-0"

Vertical scale bars on the left side of the drawing, showing increments of 1/16", 1/8", 1/4", 3/8", 1/2", 5/8", 3/4", 7/8", and 1'-0".

3'-0" = 1'-0"  
 1'-12" = 1'-0"  
 1'-0" = 1'-0"  
 3'-4" = 1'-0"  
 1'-2" = 1'-0"  
 1'-4" = 1'-0"  
 1'-2" = 1'-0"  
 1'-4" = 1'-0"  
 1'-8" = 1'-0"  
 1'-6" = 1'-0"  
 1'-0" = 1'-0"



**1 ROOF PLAN**  
1/16" = 1'-0"

CODE REVIEW:

CERTIFICATE:



SIGNATURE:  
 THOMAS S. PERRINO 2140195646  
 SCOTT S. DOWNE 2140195646  
 STEVEN LEONE 2140197108  
 ANGELO ALBERTO 2140195646  
 JOHN F. WISCH 2140195646  
 SPEZLE ARCHITECTURAL GROUP, INC. 2140200000

SEAL:  


CONSULTANTS:

PLANNING BOARD  
 SUBMISSION 9/17/21

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 ADDITIONS AND  
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 GYM AND STRENGTH AND  
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 LAWRENCEVILLE, NJ, 08648

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FOR BID:  
 DRAWING TITLE:

ROOF PLAN

COMMISSION NUMBER:  
 21U011  
 AGENCY NUMBER:

DO NOT SCALE THE DRAWINGS  
 DRAWING NUMBER:  
**A0.3**



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1395 YARDVILLE HAMILTON SQUARE ROAD  
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SCOTT E. DOWNE 2140195405  
STEVEN LEONE 2140191010  
STEPHEN BESEL 2140195400  
ANGELA ALBERTO 2140194070  
JOHN F. WISCH 2140195400  
SPEZLE ARCHITECTURAL GROUP, INC. 2140200000

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CONSULTANTS:

PLANNING BOARD  
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FOR BID:  
DRAWING TITLE:

WEIGHT ROOM  
ELEVATIONS AND  
SECTIONS

COMMISSION NUMBER:  
21U011

AGENCY NUMBER:

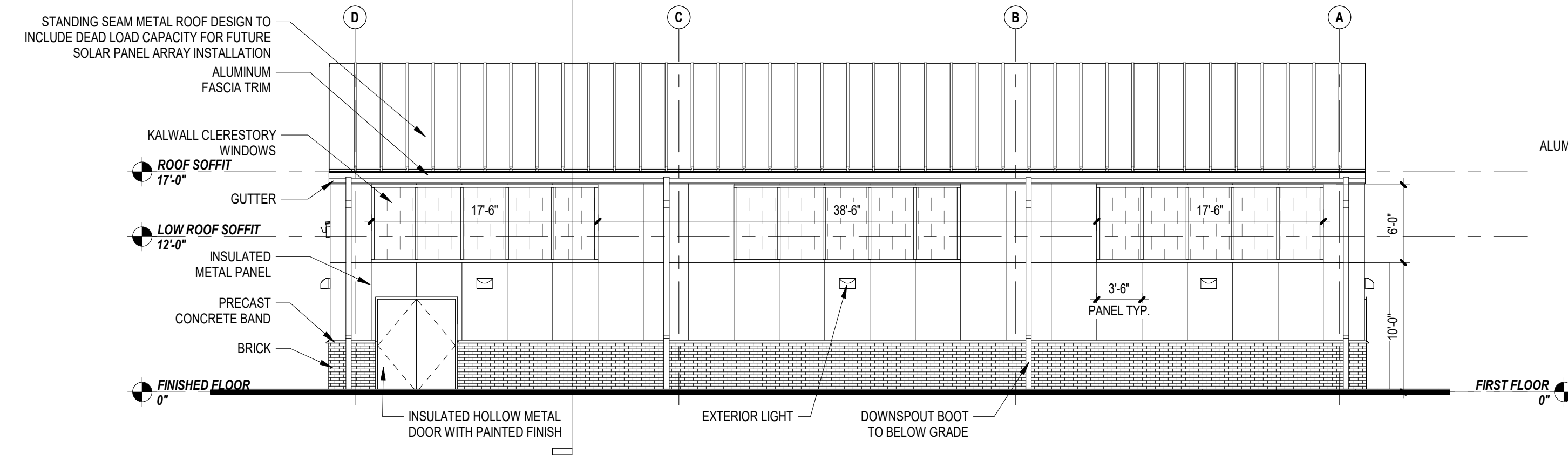
DO NOT SCALE THE DRAWINGS

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A0.4

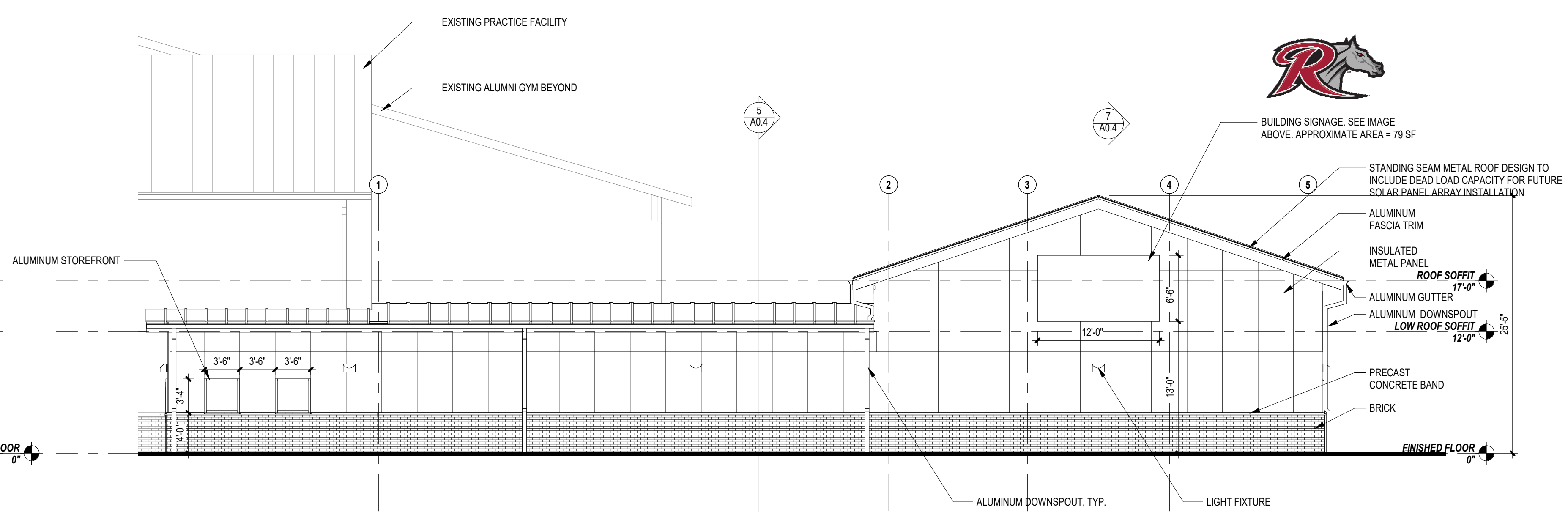
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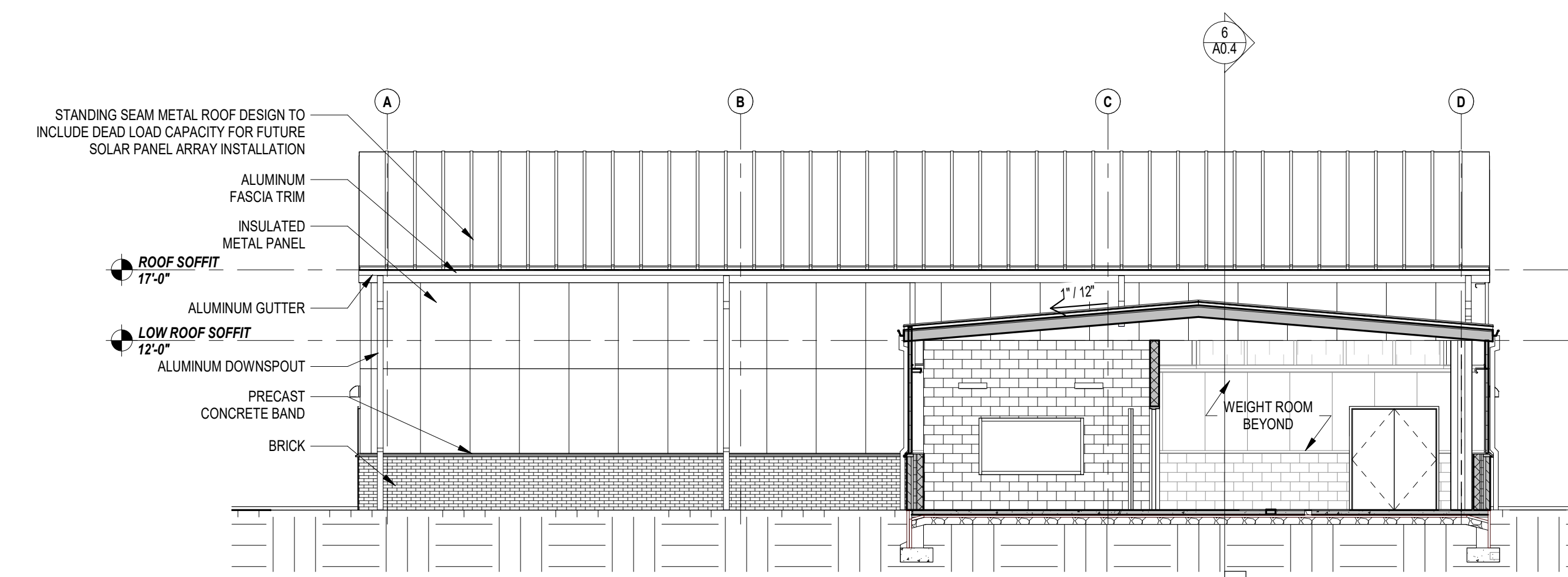
BUILDING SIGNAGE. SEE IMAGE  
ABOVE. APPROXIMATE AREA = 79 SF



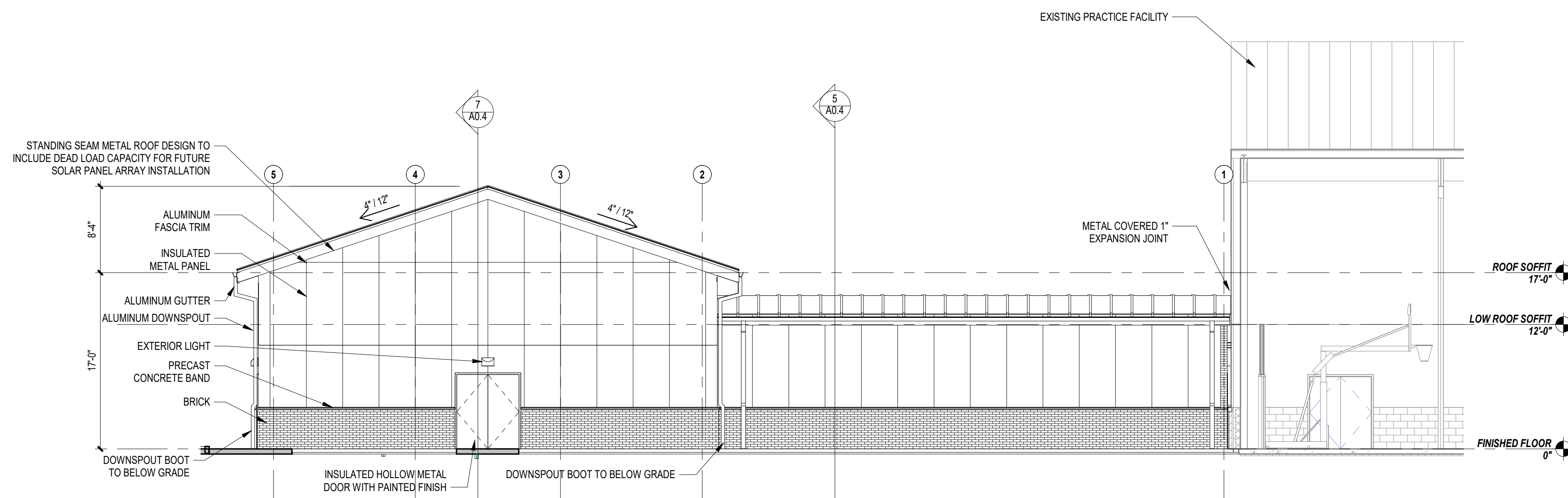
1 EAST ELEVATION  
1/8" = 1'-0"



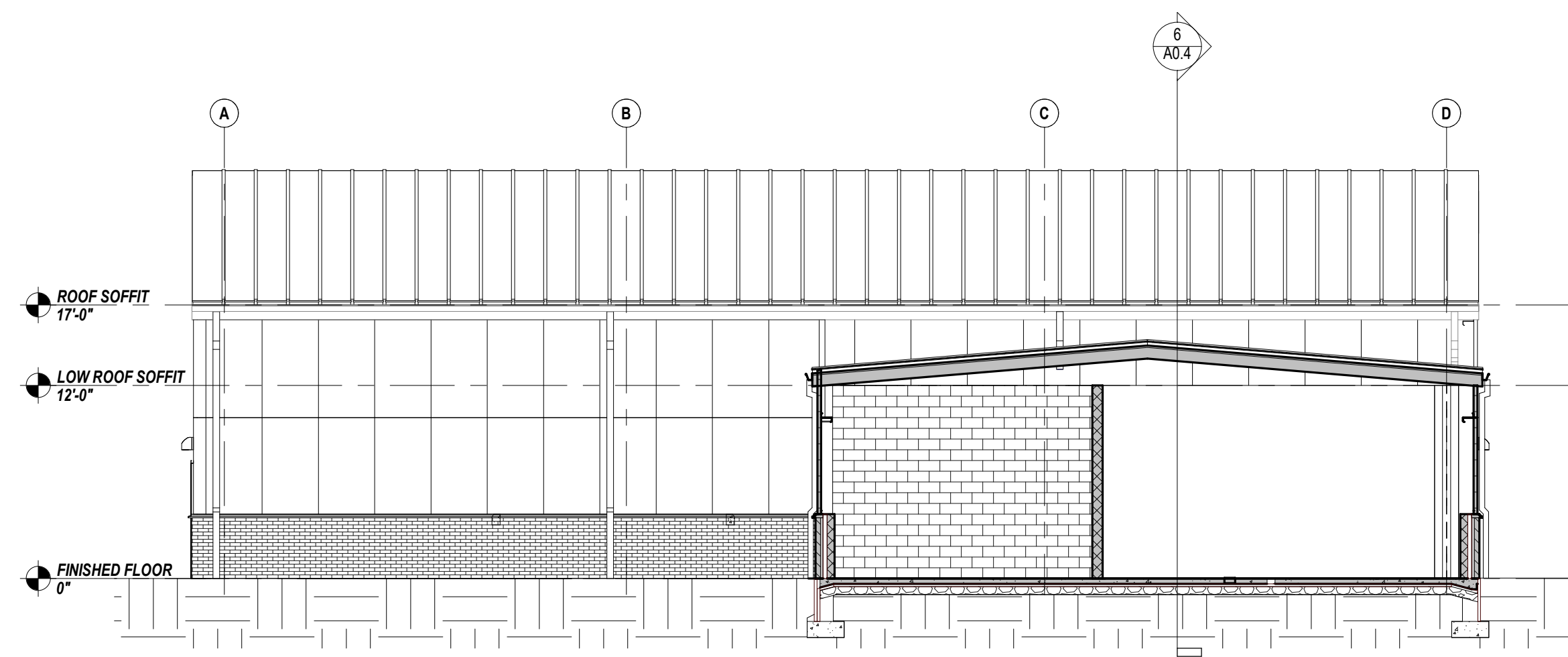
3 SOUTH ELEVATION  
1/8" = 1'-0"



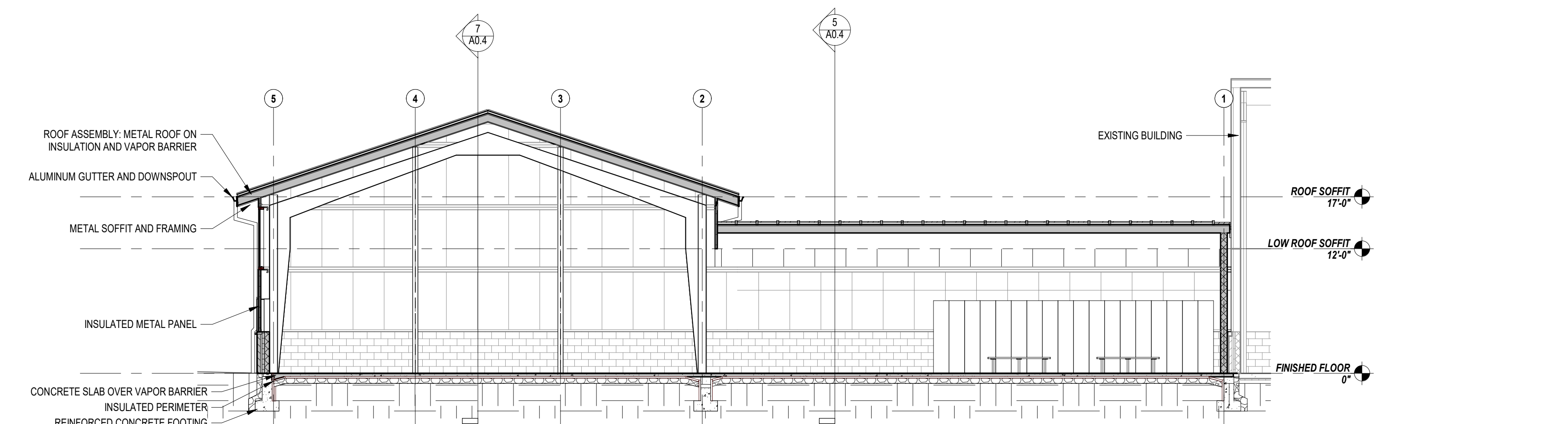
4 WEST ELEVATION  
1/8" = 1'-0"



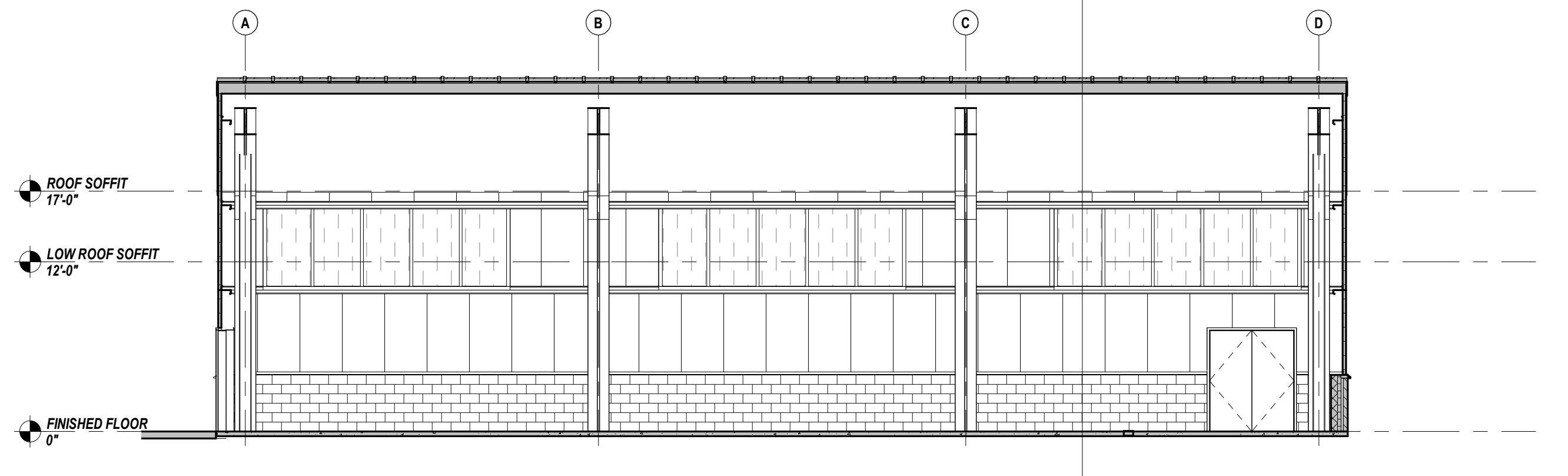
2 NORTH ELEVATION  
1/8" = 1'-0"



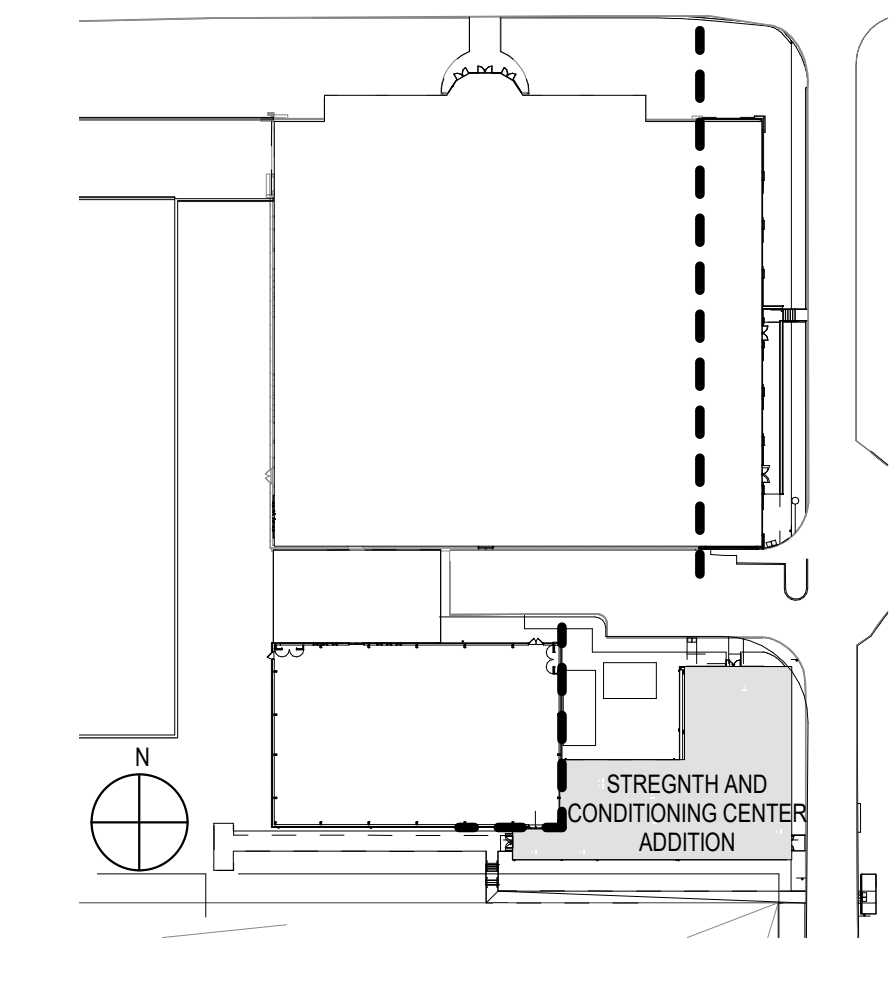
5 BUILDING SECTION  
1/8" = 1'-0"



6 BUILDING SECTION  
1/8" = 1'-0"



7 BUILDING SECTION  
1/8" = 1'-0"



8 KEY PLAN  
1" = 80'-0"

Vertical scale bars on the left side of the drawing, ranging from 3'-0" to 11'-0".



SPEZLE ARCHITECTURAL GROUP INC.  
1395 YARDVILLE HAMILTON SQUARE ROAD  
SUITE 2A  
HAMILTON, NJ 08691  
PHONE: 609-695-7400

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SCOTT E. DOWNE 2140192646  
STEVEN LEONE 2140192646  
ANGELA ALBERTO 2140192646  
JOHN F. WISCH 2140192646  
SPEZLE ARCHITECTURAL GROUP, INC. 2140200930

SEAL:

CONSULTANTS:

PLANNING BOARD  
SUBMISSION 9/17/21

PROJECT:  
ADDITIONS AND  
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2083 LAWRENCEVILLE ROAD,  
LAWRENCEVILLE, NJ, 08648

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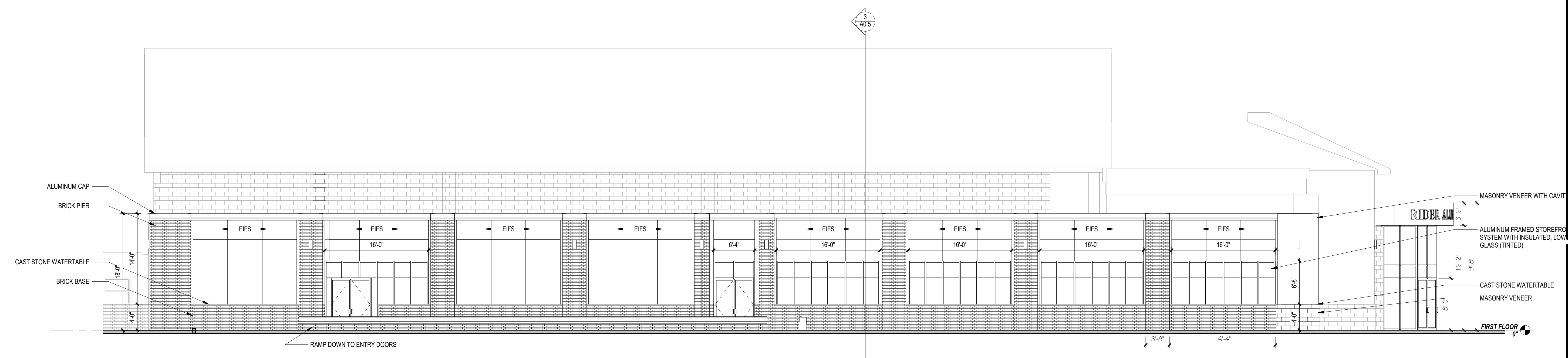
FOR BID:  
DRAWING TITLE:

ALUMNI GYM BUILDING  
SECTIONS AND  
ELEVATIONS

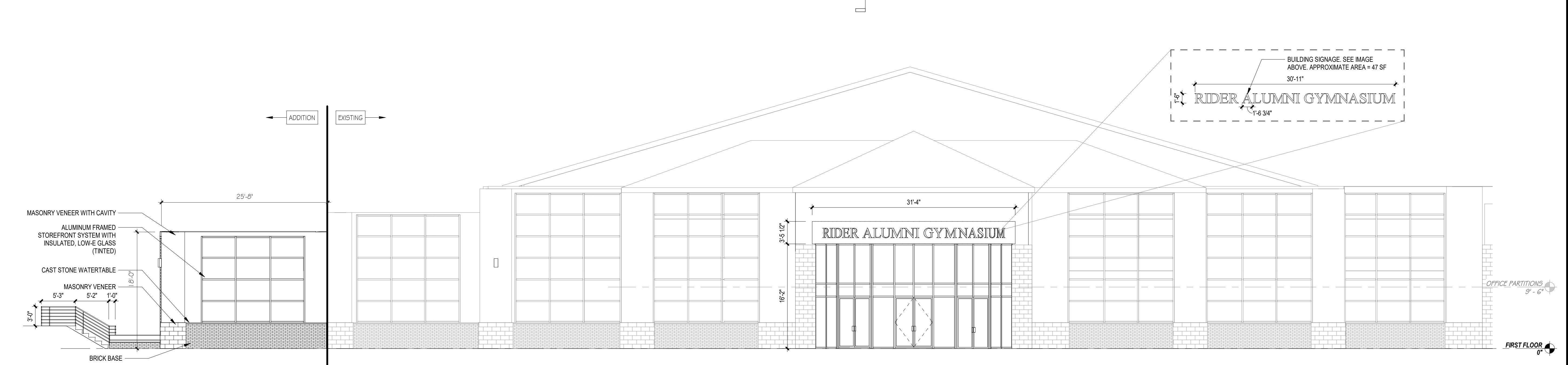
COMMISSION NUMBER:  
21U011  
AGENCY NUMBER:

DO NOT SCALE THE DRAWINGS

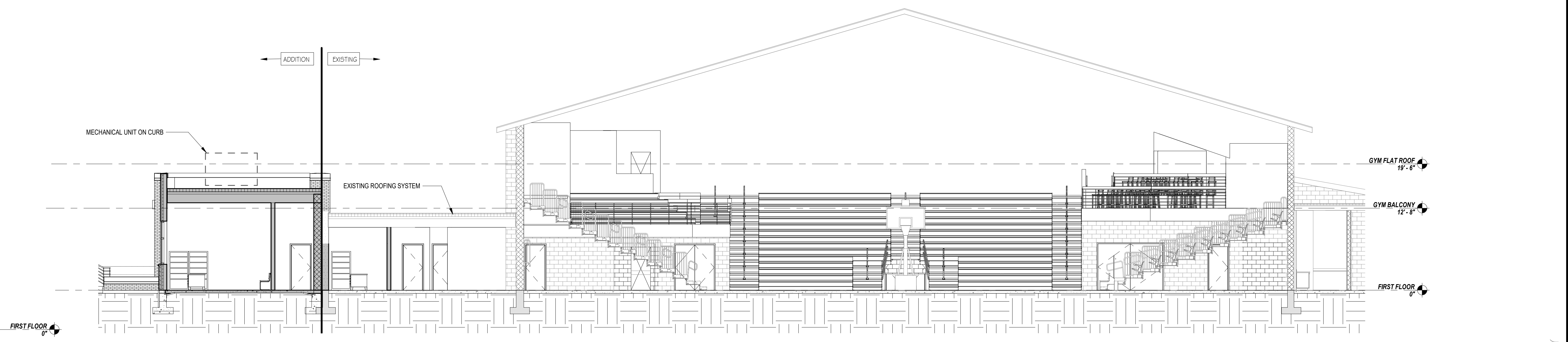
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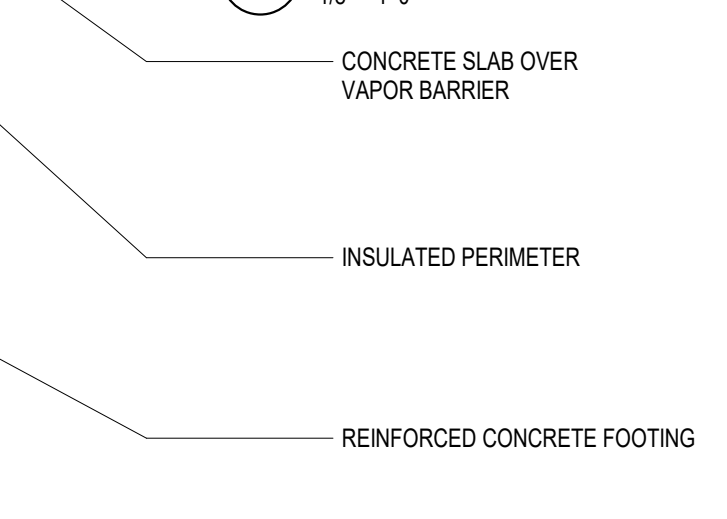
1 EXTERIOR ELEVATION  
1/8" = 1'-0"



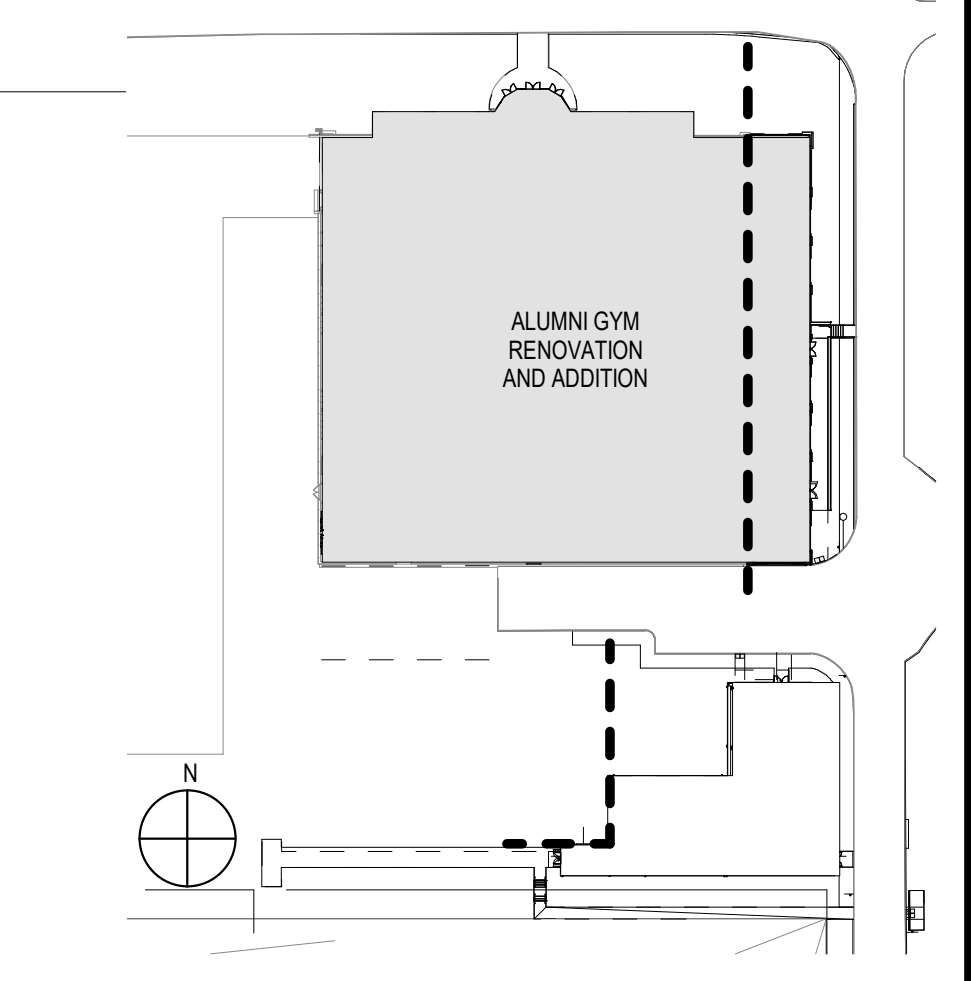
2 EXTERIOR ELEVATION  
1/8" = 1'-0"



3 BUILDING SECTION  
1/8" = 1'-0"

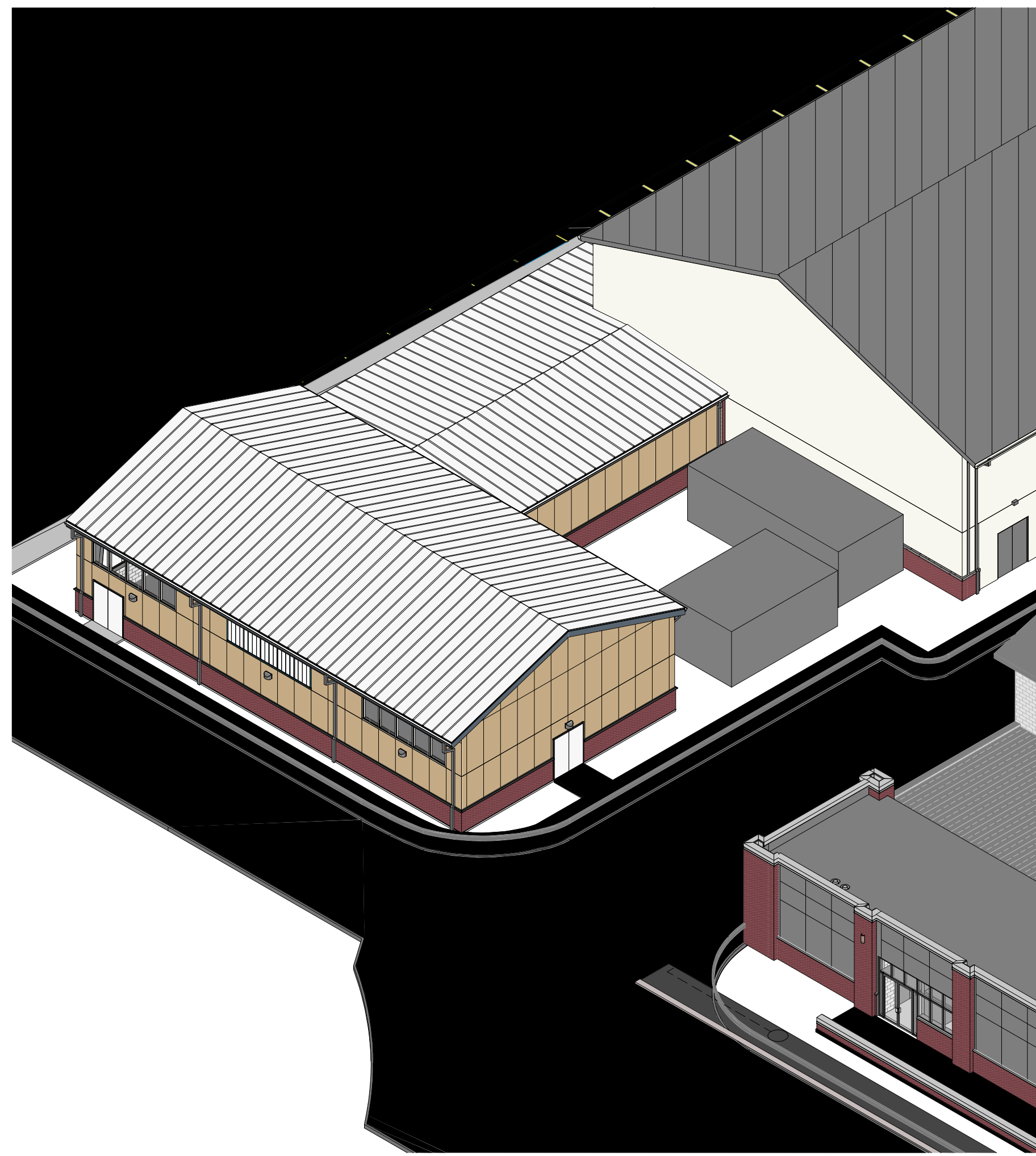


4 WALL SECTION  
3/4" = 1'-0"

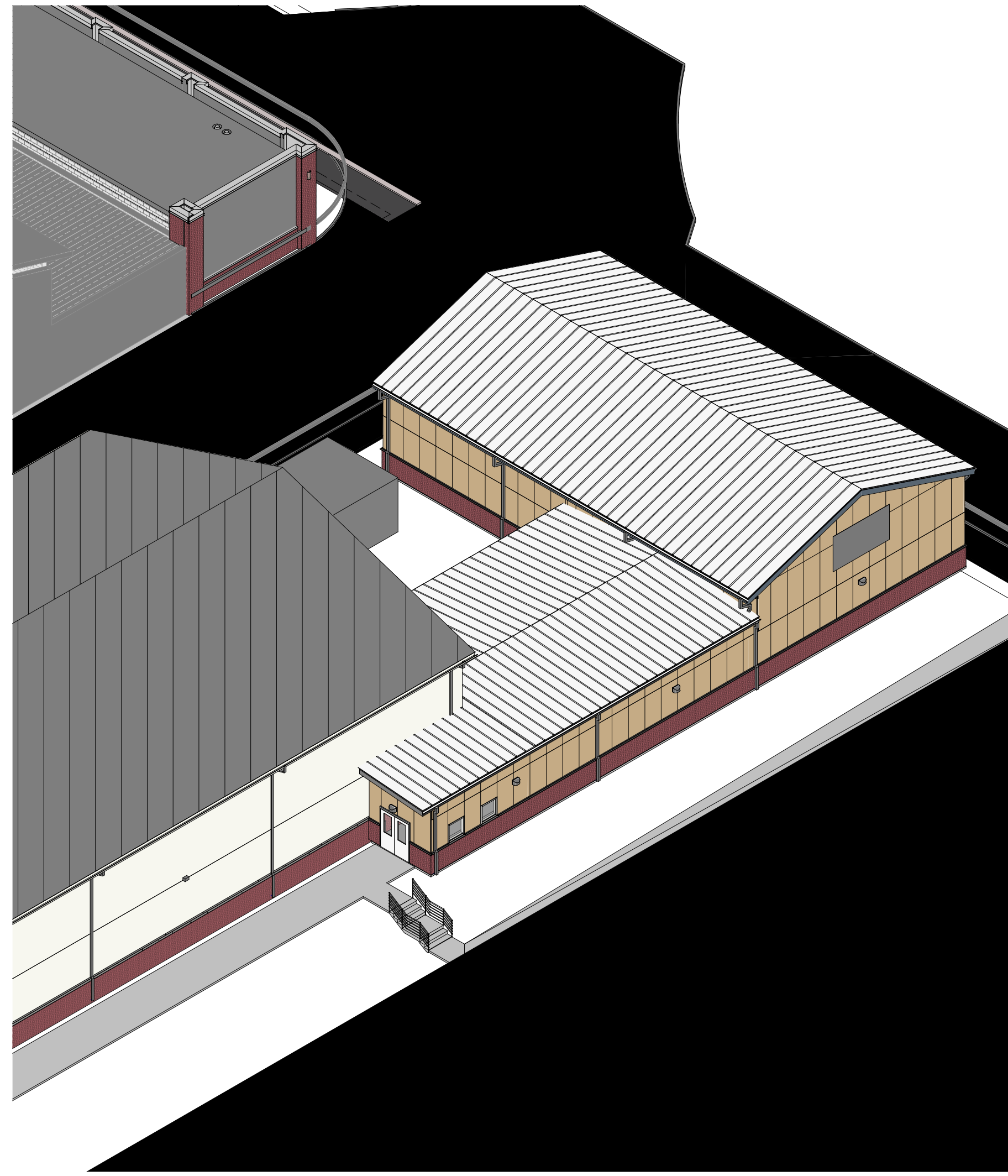


5 KEY PLAN  
1" = 80'-0"

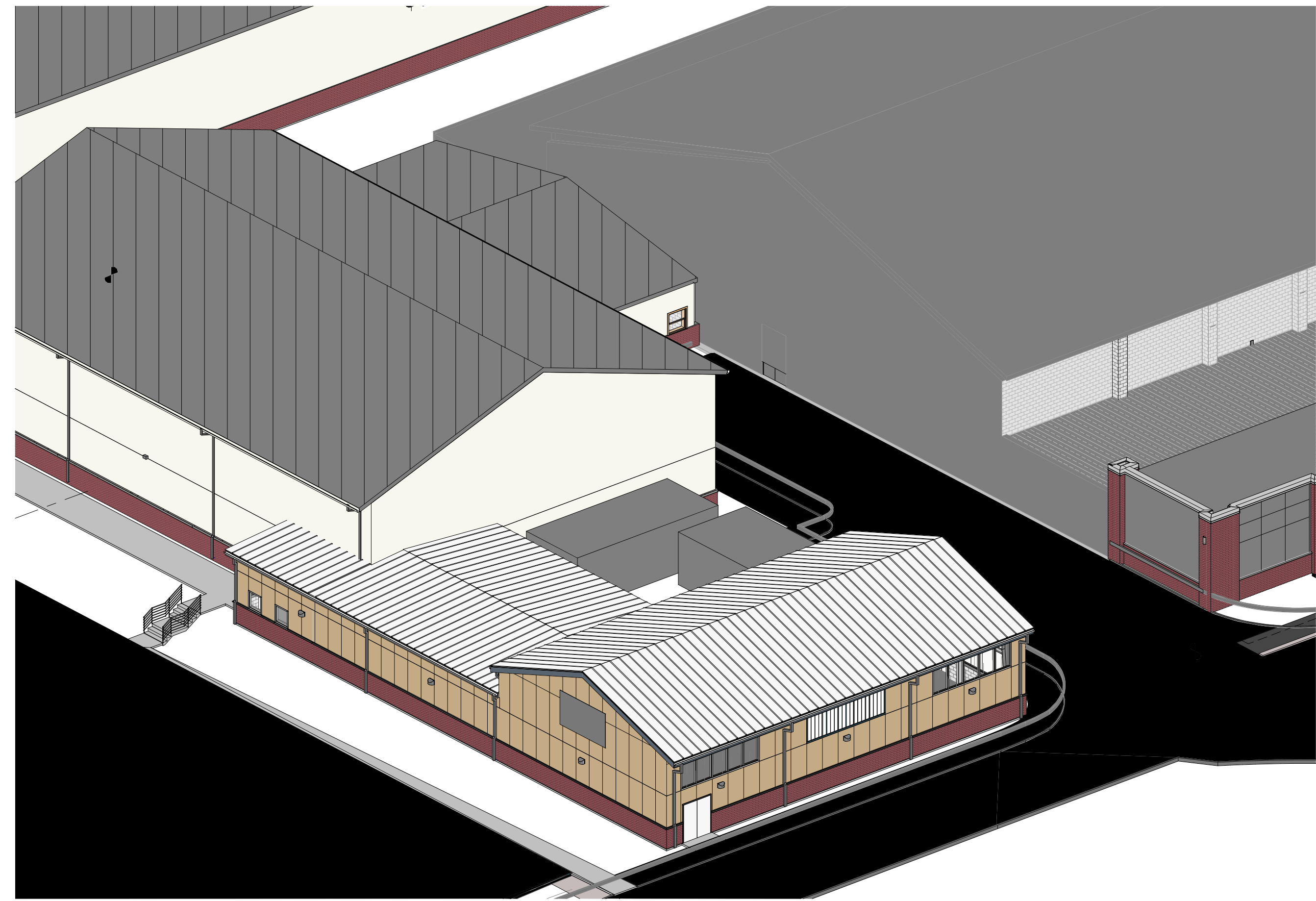
Vertical scale bars on the left side of the drawing:  
 3'-0" = 1'-0"  
 1 1/2' = 1'-0"  
 1'-0" = 1'-0"  
 3/4" = 1'-0"  
 1/2" = 1'-0"  
 1/4" = 1'-0"  
 1/8" = 1'-0"  
 1/16" = 1'-0"



2 NE AXON



3 SW AXON



1 SE AXON



5 RENDERING IMAGE 2  
1/8" = 1'-0"



4 RENDERING IMAGE 2  
1/8" = 1'-0"

CODE REVIEW:

CERTIFICATE:



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SCOTT E. DOWNE 2140105405  
STEVEN LEONE 2140101010  
STEVEN SEGEL 2140105400  
ANGELA ALBERTO 2140104010  
JOHN F. WISCH 2140105400  
SPIEZLE ARCHITECTURAL GROUP, INC. 2140200000

SEAL:

CONSULTANTS:

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REVISIONS:	REVISION NAME	DATE
1		

FOR BID:

DRAWING TITLE:

EXTERIOR PERSPECTIVE  
VIEWS

COMMISSION NUMBER:

21U011

AGENCY NUMBER:

DO NOT SCALE THE DRAWINGS

DRAWING NUMBER:

A0.6



1 NW AXON



2 SE AXON



3 RENDERING IMAGE 1  
1/8" = 1'-0"



4 RENDERING IMAGE 2  
1/8" = 1'-0"

CODE REVIEW:

CERTIFICATE:



SPIEZLE ARCHITECTURAL GROUP, INC.  
1395 YARDVILLE HAMILTON SQUARE ROAD  
SUITE 2A  
HAMILTON, NJ 08601  
PHONE: 609-695-7400

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SPIEZLE ARCHITECTURAL GROUP, INC. 2140200000

SEAL:



CONSULTANTS:

PLANNING BOARD  
SUBMISSION 9/17/21

PROJECT:  
ADDITIONS AND  
RENOVATIONS TO ALUMNI  
GYM AND STRENGTH AND  
CONDITIONING CENTER

FOR  
RIDER UNIVERSITY

2083 LAWRENCEVILLE ROAD,  
LAWRENCEVILLE, NJ, 08648

FOR CODE REVIEW: 9/17/21

REVISIONS:	REVISION NAME	DATE
1		

FOR BID:

DRAWING TITLE:  
EXTERIOR PERSPECTIVE  
VIEWS

COMMISSION NUMBER:  
21U011  
AGENCY NUMBER:

DO NOT SCALE THE DRAWINGS  
DRAWING NUMBER:  
A0.7